



Westerra

ARCHITECTURAL GUIDELINES

WesterraRegina.ca

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WESTERRA INTENT AND THEME

Westerra is a new 490 acre mixed use community in west Regina, featuring a retail shopping district, boutique shops on West Market, a business park and a variety of single family and multifamily housing options. Westerra is proudly developed by Forster Harvard Development Corp.

This document focuses on the residential component of Westerra, and re-enforces the character of the single family and multifamily housing options. Westerra is a walkable community focused around a central community park complimented by neighbourhood parks and connected by local and regional pathway systems. Westerra is located only blocks from A.E. Wilson Park and the Devonian Pathway to Wascana Lake.

New homes built in Westerra will be built in the craftsman style, of which many Regina homes were constructed nearly a century ago. This heritage style has been successfully adopted by many Regina homebuilders, using new materials and techniques, while retaining the customer appeal and “look of home” that make it a popular choice.

To ensure that the built form of the homes in Westerra conform to the craftsman style, the Developer has commissioned Robinson Residential Design Inc. to review all home plans submitted by the selected builders for conformation of these guidelines.

These controls are provided to describe the architectural guidelines for development. Builders are encouraged to design and construct homes that are harmonious with each other in the Craftsman style, but also feature some of the optional themes found in that genre.



ZONING REGULATIONS

All development must conform to the City of Regina Zoning Bylaw No.9250 and the latest National Building Code. This includes requirements for secondary suites, laneway homes and garden suites. Special attention should also be paid to grading and sound attenuation aspects of the site.

SITE PLANNING

Building setbacks are determined by the designated zoning of each parcel. Lot coverage is determined by the designated zoning of each parcel. This amount includes garages and covered balcony or patio spaces.

SITE GRADING

Lot grading must follow the grades as stipulated in the Developer's grading plan. These final grades must be listed on the submitted site plans. Lot slopes should be coordinated to ensure surface water is diverted away from buildings towards swales and storm sewer catch basins.

Maximum permitted front, rear or side yard slope is 3:1 but builders are encouraged to stay within 3%-25% slopes. Builders are required to maintain drainage routes during construction to prevent damage and flooding to adjacent properties.

BUILDING HEIGHT

The maximum height is determined by the City of Regina Zoning Bylaw 9250.

MINIMUM FLOOR AREA

Homes must follow the National Building Code and City of Regina Zoning Bylaw 9250 for minimum floor areas.



DESIGN GUIDELINES

CRAFTSMAN STYLE

Craftsman styled homes were first designed by Gustav Stickley at the turn of the 20th century. This style was very popular with middle class buyers, wanting a smaller attractive home, which could be easily supplied in “kit” form and shipped by rail and constructed by local labor forces. These material packages included decorative interior and exterior elements that made these homes attractive and further establish what was to become known as Arts and Crafts styled features. These features included:

- A. Low slung roof pitches with deep overhangs and sheltering front verandas.
- B. Exposed beams and rafters, often detailed with decorative shapes, and wood knee brackets.
- C. Wide tapered stone, brick or stucco columns supporting veranda roof, extending to grade.
- D. Multi-paneled windows over single pane lower sashes.
- E. Horizontal siding on lower walls with shingles siding in gables.
- F. Wide simple trims on doors and windows.
- G. See photos for additional elements.

MASSING AND ROOFS

- A. Front veranda and porch floors should be as close to grade as possible. Consider lowering a front foyer a few steps to reduce the number of steps required at the front door.
- B. Large blank gables should be avoided. Incorporate a second wall finish, decorative battens and vents, windows and knee brackets at front gables.
- C. Lower floor roofs should have lower slopes (3/12 to 5/12). Upper slopes can be increased to a max of 10/12 if accommodating a second floor.
- D. Fascia should be minimum 150mm wide, with preference for exposed rafter tails and decorative barge-boards at front elevation.
- E. Windows should feature muntin bars in upper portion of each window over a larger bottom panel. Doors and windows should feature wide trims.
- F. Masonry finishes are important to this style. These materials are best suited to column bases and exposed foundation walls. Large blank walls of any finish should be avoided. Masonry finishes should be wrapped a minimum of 18 inches at corners (30 inches on corner lots).



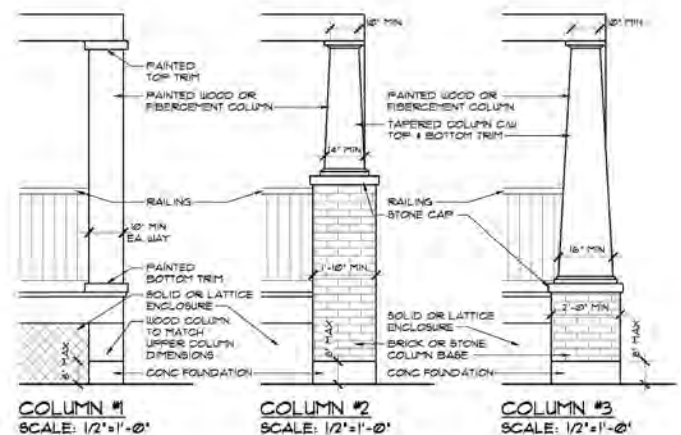
DESIGN GUIDELINES CONTINUED

FRONT ATTACHED GARAGES - SINGLE FAMILY HOUSING

- A. The front door must be visible from the street.
- B. The front door must have a covered porch and column projecting a minimum of 6' from the front wall of the house.
- C. The use of glass in doors, or side lights with solid doors is encouraged.
- D. Garage doors must be carriage style doors to resemble hinged wooden doors. On single family homes, doors must not be the same style and/or colour as adjacent property.

CRAFTSMAN MATERIALS

- A. Approved wall finishes include materials that resemble the wood siding, shingles and/or stucco of the original craftsman style homes. Horizontal siding can be accommodated with fiber-cement siding, engineered wood, vinyl siding, and prefinished hardboard siding. Board and batten can be approved for a whole-wall finish or as a trim.
- B. Gable ends should be clad in a material that resembles the original wood shingles. This can be done using wood, cement-fiber, engineered wood and vinyl products. Vertical board and batten siding could also be an option, using wood, cement fiber or vinyl products.
- C. Roofs can be wood shingles or a laminated fiberglass-asphalt shingles.
- D. Window, door and corner trim can be constructed from wood, cement fiber, engineered wood, prefinished metal, vinyl or PVC. Trims must be appropriately sized (dimensions must be submitted with the architectural review).
- E. Fascia and soffit can be painted wood, cement fiber, or prefinished aluminum.
- F. Each home should receive a minimum of 2 square metres of brick, natural or cultured stone veneer. This material should be limited to the lower floor and should be included on any columns supporting the front veranda. Samples must be submitted with the architectural review.
- G. Railings can be stained and painted wood, metal or prefinished aluminum railing. Use of glass railing materials must be limited to rear-facing decks.
- H. Craftsman columns must incorporate one of the following details (See figure to the right):



DESIGN GUIDELINES CONTINUED

COLOURS

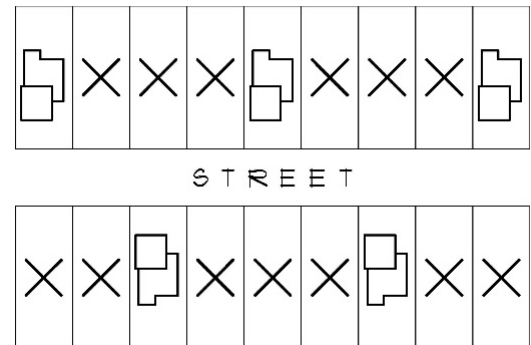
- A. Typically, Craftsman homes featured painted wood siding and natural finishes. Colours for the main siding body, gable and trims can be selected from the James Hardie or KWP naturetech engineered wood siding colour brochure.
- B. Roof colours should be equivalent to IKO Cambridge colours (Dual Black, Driftwood, Charcoal Gray, Harvard Slate, Dual Brown and Weatherwood).
- C. Door and window frames can be white, tan, brown, black or gray.
- D. Railings should be white, tan, brown, black, or gray.
- E. House doors may be painted an accent color but prior approval is required.
- F. Non-earthtone colours will not be permitted without prior approval.



DESIGN GUIDELINES CONTINUED

REPETITION

To maintain the character of a typical urban street, it is important that single-detached homes appear to be as individual and unique as possible, while balancing the cost savings to the Developer of standardization of the units. Similar homes with identical colours must not be repeated more often than every fourth unit. Significant changes would include roof design, door and window placement, wall finish or colour. Mirroring a unit does not meet the requirements for a significant change.



CORNER LOTS / EXPOSED REAR ELEVATIONS / DEWDNEY AVENUE

Homes built on corner lots and/or lots backing open green spaces or backing Dewdney Avenue require special attention. These houses must have windows on elevation facing green spaces or side streets. These windows must have the identical muntin bar configuration as those of the primary elevation. Exterior trims on these facades must be detailed similar to the treatment of the street facing elevation (window trims, corner trims, gable ends etc.). These facades will not require masonry finishes as noted, however it is highly encouraged on side elevations on corner lots. Masonry finishes from the front elevation should be wrapped a minimum of 30 inches on flankage elevations.



DRIVEWAYS

- A. Asphalt paving on driveways and walkways will not be allowed.
- B. Patio block front walkways will not be allowed.
- C. Broom finish concrete, exposed aggregate, stamped concrete and precast concrete pavers are permitted for driveways and walkways. All coloured driveways must be in neutral earth tone colours. Contrasting borders are encouraged.
- D. The driveway must be a minimum of 1m from the side yard property lines.
- E. Driveways must not have a slope exceeding 7% grade.
- F. On corner lots, driveway placement must be designed with visibility in mind.
- G. Rear parking pads must be concrete.
- H. The driveway linking the rear parking pad to the lane may be asphalt or concrete. A concrete perimeter is required on all asphalt driveways.

LANDSCAPING

Builders are required to provide landscaping to the lot prior to the final inspection. This landscaping must include:

- A. One tree at front yard: minimum 50mm caliper deciduous tree or minimum 2.5m high coniferous tree.
- B. A minimum of three shrubs with a spread of at least 400mm at time of planting.
- C. Lots must be sodded or have artificial sod installed. Artificial sod is not encouraged. Samples must be provided prior to approval and installation.
- D. Allowances for seasonal delays must be approved prior to occupancy.
- E. Sideyard grading must follow development grading plan.



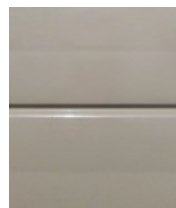
FENCING

- A. All fences must conform to the City of Regina Bylaw 9250.
- B. All side yard fences to be a maximum of 6 foot high PVC or if using brown treated wood, it shall match the materials and design of the Developer installed fencing.
- C. Any damage caused to Developer installed fencing must be repaired to the same standard as the original. No alternates or substitutions are permitted.
- D. No embellishments or additions are permitted on Developer installed fencing.
- E. All parks and pathways facing rear fences to be provided by Developer.
- F. **White PVC fencing is prohibited.**
- G. Approved manufacturers and colours are as follows:

PVC APPROVED MANUFACTURERS:

- i) National Vinyl Products | nvpfence.com
- ii) Homeland Vinyl Products Inc. | homelandvinyl.com

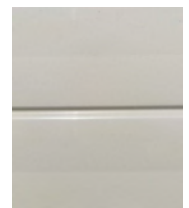
Please match these approved colours if other supplier.



CLAY | ADOBE



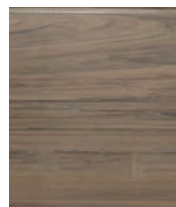
GREY | STONE



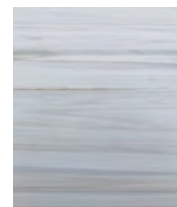
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PVC APPROVED UPGRADES:

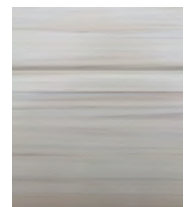
Wood grain finish upgrades in approved colors.



GREEN TEAK



WEATHERED
ASPEN



DRIFTWOOD

APPROVED WOOD OPTION:

Brown Treated Lumber (same as Developer fencing)



BROWN TREATED
WOOD

PVC samples available; all questions, please contact: **FORSTER HARVARD DEVELOPMENT CORP.**

(306) 757-7501 | Info@ForsterHarvard.ca

RV PARKING AND SATELLITE DISHES

- A. Temporary parking of recreational vehicles must conform to City of Regina Bylaw 9250, but in general is discouraged. No RV Parking pads allowed.
- B. Satellite dishes are allowed provided the dish size does not exceed 600mm in diameter and it is not visible from the street.

AIRPORT NOISE ATTENUATION OVERLAY ZONE

Similar to other new and existing neighbourhoods, portions of Westerra are situated within an area bounded by 25 NEF (Noise Exposure Forecast) and 30 NEF countours, based on 2024 noise exposure projections, as established by Transport Canada and described in its publication Land Use in the Vicinity of Airports (Publication no. TP 1247E). Registered owners and prospective purchasers of this property are further advised of its proximity to the Regina International Airport and, as a consequence, the potential impact of aircraft noise on the use and enjoyment of the property area between N.E.F. 25 and 30 countours. Required calculations will be carried out as part of the architectural guidelines review by Robinson Residential Design and DKM Engineering.

REVIEW PROCESS

SINGLE-FAMILY HOUSING

All single-family house plans must be submitted for review prior to the builder/owner applying for a building permit. Please submit electronic copies of final working drawings, site plan and exterior finish schedule. At this time, the Airport Noise Attenuation review will be conducted. Please allow five business days for complete review. Review application will be sent to the builder/owner with any outstanding items noted.

SEMI-DETACHED / MULTIFAMILY-HOUSING

All semi-detached / multifamily projects must be submitted for review at the preliminary design stage and prior to the builder/owner applying for a building permit. Please submit electronic copies of the floor plans, elevations and a dimensioned site plan for the preliminary review. For final review, please submit an electronic and a paper copy of the final drawings, site plan and exterior finish schedule. At this time, the Airport Noise Attenuation review will be conducted. Please allow 5 business days for complete review. Review applications will be sent to the builder/owner with any outstanding items noted. A meeting may be arranged to further discuss the review if necessary.

All submissions are to be sent to: **ROBINSON RESIDENTIAL DESIGN**

2232-2nd Avenue | Regina, Saskatchewan S4R1K3 | designcontrols@robinsonplans.com



WesterraRegina.ca

The Developer of Westerra has the sole discretion of the implementation and intent of these guidelines. Subsequent revisions to the submitted drawings may be required. The Developer has the right to decline the approval of any structure that, if in their opinion, will diminish the quality of the overall development. The Developer may in their sole and absolute discretion waive or change in whole or in part any requirement of the architectural guidelines.