

dream D
development



EASTBROOK
ON THE GREENS

ARCHITECTURAL & DEVELOPMENT GUIDELINES

Updated August 2019

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INTRODUCTION

Eastbrook on the Greens is located north of the Greens on Gardiner in South-East Regina. Residents of Eastbrook will feel a sense of charm, culture, and character in their new neighborhood. Consideration has been put into every step of development including the architectural vision and guidelines. Creating a community that has this sense of character paired with today's best innovations and lifestyle in mind will be essential to meet the needs of those wanting to live in Eastbrook.

Those interested in living in Eastbrook will be a diverse group ranging between the ages of 25-44. They will be college or university educated with an annual household income of \$124,000. Our target markets lifestyle includes entertaining, pets, kids, and technology. It will be important to take these noted lifestyle traits into consideration through the design of the homes and community.

Eastbrook will include a variety of housing types including multi-family and single family. Eastbrook will be a community where you can find your perfect home no matter what your lifestyle requires. Complete with parks, walking trails, a plaza, retail, and close access to

elementary schools this neighborhood will organically create a community that will be pet friendly, perfect for entertaining loved ones, and ideal for spending time and staying fit outdoors.

Our vision is that all homes in Eastbrook will incorporate one of the following styles in their design:

- Tudor
- Prairie
- Arts & Crafts/Craftsman
- French Country
- Modern
- Colonial

Each home is required to meet our General Architectural Guidelines that are detailed starting on Page 10. Certain areas of the development as outlined on the Architectural Control Plan on Page 9, will be required to have upgraded features and are designated as a Level Two requirement, described on Page 20.

DESIGN PHILOSOPHY

Dream Development's design philosophy is demonstrated through its commitment to a comprehensively designed, master planned community. Dream remains involved in all aspects of the development and build-out to ensure its vision is successfully implemented.

This provides consistency to an overall design philosophy, control of all development aspects and the ability to enhance and mitigate the natural and man-made features. At each stage, Dream monitors all aspects of the land development, service requirements and building programs to ensure timeliness and completeness of each home.

Homes in Dream neighbourhoods will require consistent application of the architectural guidelines. Home designs will be reviewed to ensure that a home incorporates good design principles and employs an authentic use of materials and details for the style chosen.

The design for each house and multi-family development will be submitted to the Dream Architectural Control Committee who will review it for compliance with the Architectural Guidelines. If a building does not portray sufficient character, good design or appropriate colors and materials, then the plans could be rejected and returned with suggested improvements.

LANDSCAPING

Landscaping in the front yard of all homes must be completed by October 31 of the year following occupancy.

The following landscaping guidelines are in place:

- The predominant landscaping material in the front yard of any home must be natural vegetation (i.e. grass, shrubs, flowers and trees), excepting that portion of the yard occupied by a driveway.
- Xeriscaping is an acceptable option providing that it is used with the majority of natural vegetation i.e. rock/mulch may be substituted in place of grass, but shrubs, flowers and trees are still required.
- Artificial grass is acceptable only as an accent, entire yard of artificial grass is not permitted. Natural vegetation is still required for the majority of the yard.

LETTER OF CREDIT

The builder is required to provide to Dream Development an irrevocable Letter of Credit in the amount of \$25,000 as security deposit. No interest will be paid on the Letter of Credit.

This Letter of Credit is required to ensure the following criteria has been met on each lot:

- Home is constructed as per architectural approval.
- Landscaping guidelines have been met.
- Approved grading plan has been complied with.
- Community infrastructure has not been damaged.

Upon satisfactory completion of the above items on all lots, the Letter of Credit will be released.

SITE PLANS AND GRADING

Each builder is required to submit a site plan into LotFX in 1:200 scale (metric). Examples are shown on Pages 30 and 31.

All site plans will be reviewed at the time of submission and are required to meet the set grades as shown on the Building Grade Plan for the area and are to ensure proper lot drainage.

Front steps should be kept to a maximum of 6 risers. Additional risers can be added into the sidewalk to help achieve the desired grade.

Window wells may be required to reduce number of risers on the home, or to achieve proper drainage.

The following information should be shown on each site plan:

- House & Lot Dimensions including decks
- Proposed Top of Footing and Top of Joist Elevations
- Proposed Garage Slab Elevation
- Lot Corner Elevations
- Utility and Drainage Right-of-Ways
- Curb and Sidewalk at Street

- Driveway and Walk Layout
- Fire Hydrants/Light Standards/Utility Pedestals (if applicable)
- Minimum 2.5% slope on side Property Lines to front and rear of lot from an indicated high point.
- Positive slope (minimum 2.5%) away from the foundation to nearest lot line.

Site plans will be reviewed in conjunction with adjacent site plans to ensure the continuity of the streetscape. If the site plan does not have proper drainage or work with the adjacent home or streetscape, it will be sent back for adjustments.

All final site plans will be stamped in approval and a Building Grade Slip will be issued, the builder is then responsible for compliance to the approved Grade Slip.

An as-built sign off will be required by a surveyor when the house certificate is issued. This cost will be the responsibility of the home builder.

TREES AND SHRUBS

Where possible, each home in Eastbrook will receive one tree for the front yard of the lot, or two trees if on a corner lot. If the lot is not able to accommodate a tree, a shrub package will be provided.

These trees and shrubs are to help improve the streetscape for the benefit of all homeowners and are therefore required to be put in the front yard or front or side yards of a corner lot.

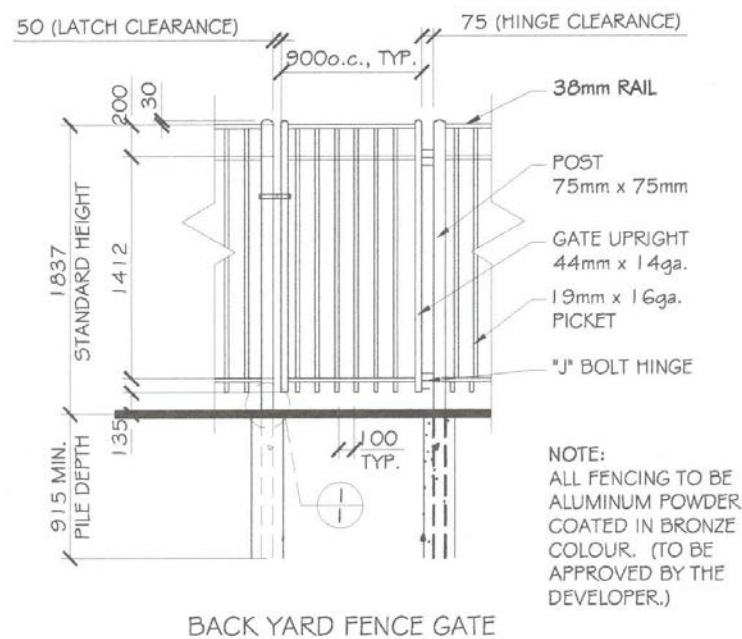
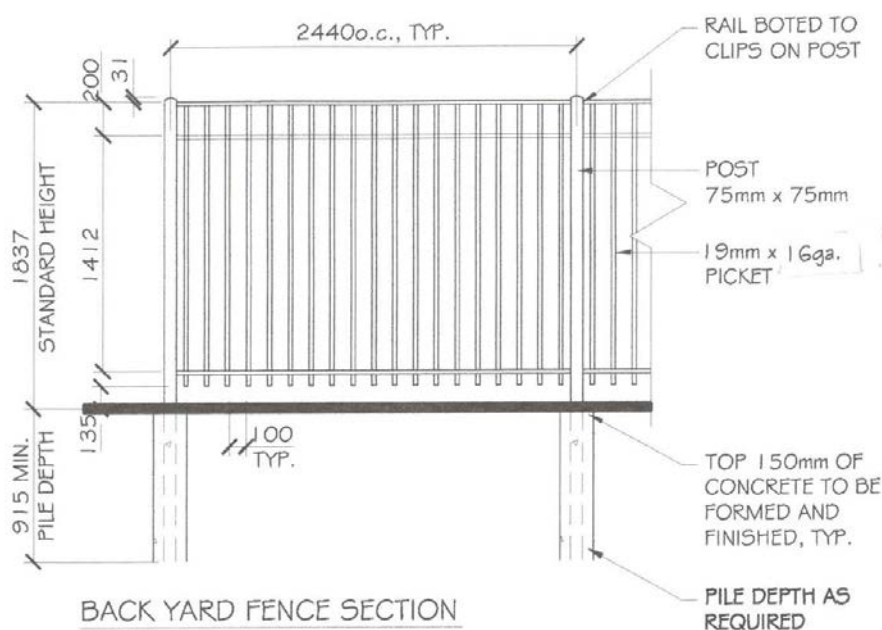
Tree and shrub selection information will be provided directly to the homeowner upon possession of the home and will be able to be selected through our LotFX system.



FENCES

To ensure uniformity and design and visual appeal, Dream Development will be providing the fence along the rear yards of all lots backing onto greenspace. These will be fenced with a 6 foot high decorative aluminum fence inside the rear property line.

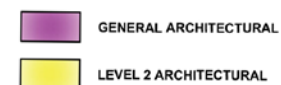
Front yard fencing will not be permitted except in specific locations where Dream will be constructing the fence, such as adjacent to a walkway or a reserve parcel.





Eastbrook Architectural Control Plan

This plan is concept only and may be
subject to change without notice.



GENERAL ARCHITECTURAL REQUIREMENTS

The following General Architectural Requirements are required on all homes in all areas of Eastbrook. Note: minimum sizes may change in future phases.

Minimum House Sizes

DCD-12 (SINGLE FAMILY-LANED)

<u>Two Storey</u>	<u>Bungalow/Bi-Level</u>
Min: 1250 sq. ft.	1100+ sq. ft.

DCD-12 (SINGLE FAMILY-FRONT ATTACHED)

Lot Width = < 36 ft.

<u>Two Storey</u>	<u>Bungalow/Bi-Level</u>
Min: 1500 sq. ft.	1200+ sq. ft.

DCD-12 (SINGLE FAMILY-FRONT ATTACHED MOVE UP)

Lot Width = > 36 ft.

<u>Two Storey</u>	<u>Bungalow/Bi-Level</u>
1800+ sq. ft.	1300+ sq. ft.

R5 (DUPLEX)

<u>Two Storey</u>	<u>Bungalow</u>
Min: 1100 sq. ft.	1000+ sq. ft.

R5 (TOWNHOMES)

<u>Two Storey</u>
Min: 800 sq. ft.

Sideyards and Setbacks

Minimum setbacks for lots must meet the zoning requirements set out by the City of Regina Zoning Bylaw. City of Regina zoning regulations, local easements and encumbrances shall be respected.

GENERAL ARCHITECTURAL REQUIREMENTS

High Exposure Elevations

Elevations which are high exposure, such as the side and rear of a corner lot, lots which back onto parks etc., shall be treated with the same types of materials as used on the front elevation. Such features as decorative vents, decorative chimneys, brick, stone, shutters, batten boards, accent boards or wrap around verandas should be used.



Homes with a rear lane

Many homes in Eastbrook will have a rear lane. On corner lots, rear garages must be provided concurrent with house construction. On all other homes with a rear lane, a concrete garage pad with a concrete or asphalt apron is required at the time of construction of the home.

Rear access garages should be consistent in style, finish and colour with the design of the house. All overhead garage doors are to compliment siding colour, unless specifically approved by the Architectural Control Committee.

Garage pads must be poured concrete, (width may be adjusted based on utility location).

Minimum sizes as follows:

Single Family lots - minimum 20'0" x 20'0"

Town House lots - minimum 12'0" x 20'0"

Duplex lots - minimum 18'0" x 20'0"

Rear garages adjacent to MR sites or which are high exposure will be required to have upgraded detailing on the high exposure elevations.

GENERAL ARCHITECTURAL REQUIREMENTS

Repetition

Three (3) lots are required in between homes before the same elevation and colours may be repeated on the same side of the street. The same elevation and colours may not be repeated within two (2) lots on the opposite side of the street.

Colours are defined as siding and masonry. All exterior colours to be submitted through Lot FX.

Elevations are defined as the exact same front elevation. Models may be repeated closer providing the exterior has been revised to differ.



**Example shown above
refers to the repetition in
place for Lot 43**

GENERAL ARCHITECTURAL REQUIREMENTS

Front Drive Garages

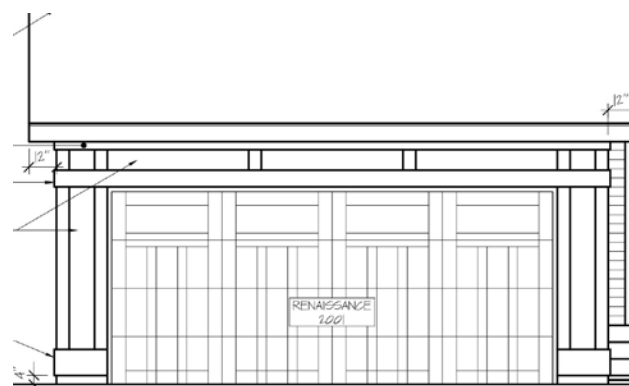
Decorative garage doors are required; these could include windows or decorative panels in the garage door. Garage doors should be painted to match siding or are to complement the colour scheme.

Decorative panels and window trim in the garage door are to be the same colour as the garage door – (no two toning) unless specifically approved by the Architectural Control Committee. Suggest that garage door seals complement garage door.



Decorative panels are to be used in place of vinyl siding on the front face of garages. All paneling is to return 2 ft. as a minimum; if the front face is wider than 2 ft. the return width should match accordingly. However, vinyl siding is permitted as a header material.

Headers above garage doors are not to exceed 2 ft.



Examples: Garage Doors

GENERAL ARCHITECTURAL REQUIREMENTS

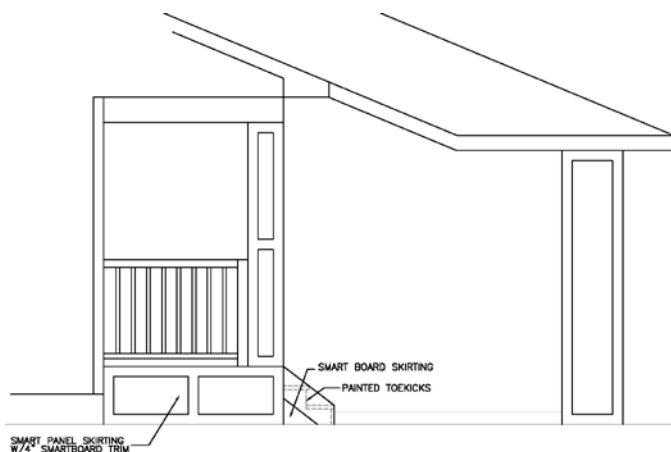
Verandas

The use of front verandas on homes in Eastbrook is strongly encouraged. Where possible, wrap around front porches/verandas should be incorporated into corner lots.

Front Steps

Front steps must be constructed using one of the following:

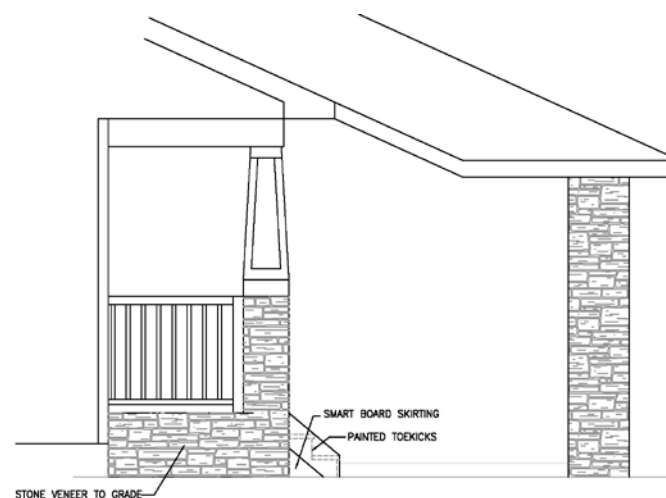
- pre-cast or cast-in-place concrete steps
- exposed aggregate concrete
- wood steps are permitted as per specifications in Wood Step Detail, examples shown below.



Wood Step Detail

All wood steps are to be constructed of pressure treated wood. The deck surface must be stained with an all-weather stain and the toe kicks and stringers must be painted to match the home. No maintenance materials such as Trex are also permitted as an alternative.

All steps are to have enclosed stringers and no open risers are permitted. The sides of all front steps and verandas are to be skirted with a no maintenance type material. Lattice screens alone, siding, or board and batten are not permitted as skirting materials.



GENERAL ARCHITECTURAL REQUIREMENTS

Front Entrances

Front entrances must receive architectural treatment in keeping with the architectural style. Front doors should be painted to match the colour scheme. Attached sidelights or transom windows are encouraged to further enhance the entrance.

Columns and Railing

All railing material is to be metal or approved low maintenance material.

Front columns are to be a minimum of 10" square. All columns must have a cap and a base, the base of column is not to overhang the landing or veranda. All columns must support a beam and not the soffit.

Rear Decks:

Columns on walkout lots are to be a minimum 12" width square.

Homes which back onto greenspace or are high exposure require a rear deck. If the builder is providing the rear deck it should be shown on the drawings and built at the time of construction of the home.

If the homeowner is providing the rear deck, a Deck Construction Commitment letter is required from the homeowner agreeing to build the deck per Dream's guidelines within six months of possession of the new home.

On these high exposure lots, the beams and rim joist are to be clad with an all-weather material. If the deck is between 1 ft. and 5 ft. high the underside of these decks should be fully enclosed with a low maintenance material.

Retaining Walls/Terracing:

All terracing/retaining walls must be shown on the site plan at time of submission and all proposed materials are to be submitted for review.

GENERAL ARCHITECTURAL REQUIREMENTS

Exterior Finish

- Siding – vinyl or *Hardiboard. Premium vinyl siding is required on **20% of homes** in General Architectural areas.
 - See Page 9, Level Two where premium vinyl is required on 40% of lots.
- Acrylic Stucco
- Brick
- *Cultured stone
- *Smartboard
- Shakes – Cedar or *Hardi-Shakes. Vinyl shakes are permitted as accents in gables only.

* where a brand name is specified, approved equivalents will be considered.

Masonry

- Where masonry is proposed, it must portray structural integrity.
- Masonry returns are to be a minimum of 2 ft.
- All masonry is to reach the finished grade of the lot.
- If masonry is used on the front face of the garage, it is to be $\frac{3}{4}$ of the garage height.
- See page 9, Level Two for areas where masonry is required.



Appropriate use of masonry

GENERAL ARCHITECTURAL REQUIREMENTS

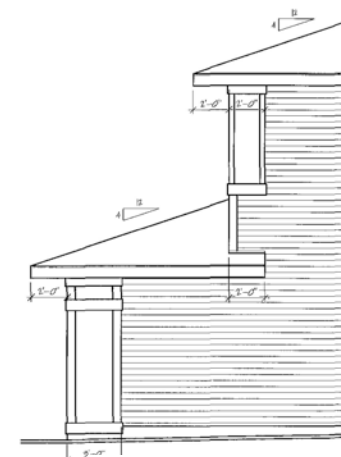
Roof Materials

- Asphalt – architectural shingle - 25 year minimum warranty. IKO Cambridge or equivalent.
- Other roof materials will be considered on a case by case basis.

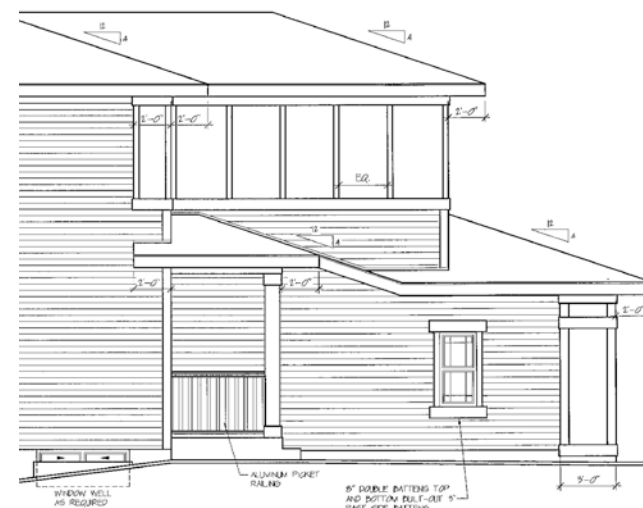
Window Trims, Window Frames and Sills

- *Smartboard/*Hardiboard
- *Cultured Stone
- Note: stucco, aluminum or vinyl are not permitted window trim materials on any elevation.
- All trims used on home are to be finished off correctly i.e. trims must not return around the corner and be left floating, they should be finished off with a vertical trim (see examples).
- All window frames are required to complement the colour scheme of the home. White or beige windows are permitted with white or lighter trims, where darker trims are being used, window frames should be complementary to the dark trim. All windows should tie into the colour palette of the home.

* where a brand name is specified, approved equivalents will be considered.



Example of trim return.



Example of trim return.

GENERAL ARCHITECTURAL REQUIREMENTS

Fascia

- Fascia in exposed gables, shall be 8" minimum in dimension.
- Fascia on all other elevations of the home shall be 6" minimum in dimension.
- Aluminum fascia is permitted.

Driveways and Sidewalks

Concrete driveways are to be "broom finished" or other acceptable concrete finish. Exposed aggregate, stamped concrete and coloured or patterned concrete driveways are also permitted. If these types of driveways are used they are required to be sealed.

Sidewalks must be poured in place. Sidewalk blocks are not permitted. Architectural pavers may be permitted at the discretion of the Architectural Control Committee.

Front driveways and walkways are to be constructed concurrent with the construction of the home.

Flashing

All flashing used on the home exterior, including the roof, is to be prefinished to blend with adjacent materials. Galvanized metal flashing is not permitted on any part of the home, which is visible from the street or lane.

Window Wells

Metal window wells are permitted.

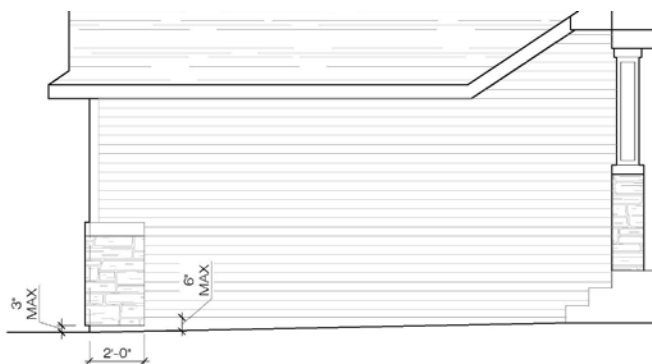
GENERAL ARCHITECTURAL REQUIREMENTS

Parging

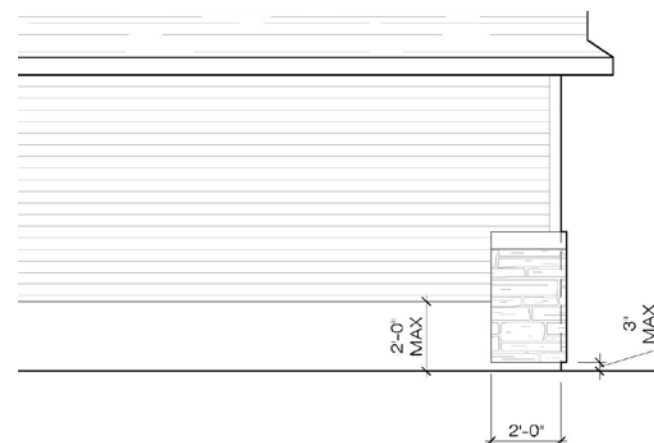
On the front face of the home all materials are to go down to as close to finished grade as possible, to a maximum of 3" from grade.



On the inside/front entrance side of Front Drive Garage homes, parging should go down to close to finished grade as possible, to a maximum of 3" from grade for a 2 foot return, and then is permitted to step up to 6" maximum.



On the exterior side of the garage a maximum of 24" of parging is permitted after a 2 foot return. 24" of parging is permitted on all other elevations.



In cases of walkouts where the side elevations are sloping, parging should be tiered or sloped to follow the grade.

LEVEL TWO

ARCHITECTURAL REQUIREMENTS:

All lots shown in yellow on page 9 require the General Architectural Guidelines as well as the following to be incorporated:

- Premium Vinyl Siding is required on **40% of all homes** in Level Two areas.
- Masonry is required on all homes*.
- *Cedar Shakes or Hardi Shakes may be considered as an acceptable Masonry alternative if the style of home warrants it. This will be allowed on a case by case basis at the discretion of the Architectural Control Committee.

MULTI-FAMILY/RETAIL SITES

All multi-family and retail sites are to incorporate the items in the General Architectural Guidelines and are subject to review by the Dream Architectural Control Committee.

THREE-STOREY HOMES

Three-storey homes will only be permitted with well thought out elevations. The third storey should be built into the roofline using vaults and dormers to minimize its impact.

All concepts for this type of home should be sent to the Architectural Control Committee for preliminary approval.

HOME STYLES

In addition to the specific Architectural Requirements, homes in Eastbrook should implement the following styles. Although exact replicas of these styles are not required, they are presented here to give the builders some basis to work from. Other styles may be considered at the committee's discretion.

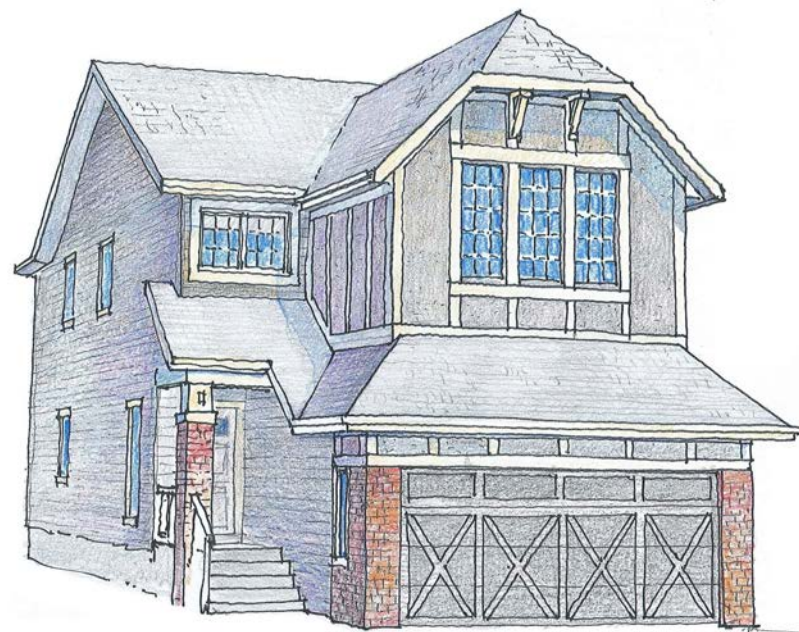
Tudor Style Homes

The Tudor Style is based on a variety of early English building traditions. Most houses in this style emphasize high-pitched gable roofs, elaborate chimneys, and decorative detailing. All details should be authentic.

Design Features & Materials:

- Steep pitched gable roofs with modest overhang.
- Vertical trim – widths 8" – 10" in dark or natural colours.
- Horizontal trim is dominant and heavier 12" – 14".
- Express structural supports with heavy beam ends of brackets.
- Elaborate masonry chimneys.
- Groupings of windows.

- Decorative half-timbering (half-timbering is darker with lighter walls).
- Dark carriage style garage doors.



HOME STYLES

Prairie Style Homes

Prairie Style homes originated in the Midwest U.S. by Frank Lloyd Wright. These homes were designed to reflect the flat horizon of the prairie landscape using low sloped roofs, broad overhangs, and accented horizontal trims and materials.

Design Features & Materials:

- Low slope roof with large overhang.
- Bands of rectangular windows.
- Contrasting horizontal trims separating upper and lower wall finishes.
- Brick is the preferred masonry on this style of home.
- Horizontal trim at soffit and as base to windows. Widths min 6 – 10". In dark color or natural colors.



HOME STYLES

Arts & Crafts/Craftsman Style Homes

Inspired by post and beam or log homes in mountain settings, this informal style features lofty ceilings and open floor plans.

Arts & Crafts home plans typically blend well with nature, and their exteriors frequently incorporate the use of natural materials.

Design Features & Materials:

- High vaulted ceilings with exposed timber beams and trusses. Dominant gables with decorative truss detail sitting out from the face of the building.
- Steeper gables with moderate eaves.
- Large glass windows – grouped/double hung.
- Large porches or decks, large scale timber columns.
- Exposed beams, log ends, half logs add to the character.

- Natural finishes of shakes or wood siding with a clear finish or deep wood finish. The natural finish should contrast in color or depth of tone with body of home.



HOME STYLES

French Country Style Homes

French Country homes draw from both the smaller country cottages and large rural estates of France. The style is characterized by a steep hipped roof, and homes may include turrets, finials, and shaped chimneys. Bays and decorative windows lend character to the facade.

Design Features & Materials:

- Tall rectangular windows.
- Stone façade.
- Rounded eyebrow arches or wood shutters.
- Steep roofs and dormers with no gables.
- Eyebrow dormer breaking through the roof line.
- Strong soffit detail continuous around primary roof with total built up depth of 12 -20 inches.
- Window frames are classically detailed with head sill and columnar details on the vertical.
- Building mass should be stone or stucco.



HOME STYLES

Modern Style Homes

Modern house plans offer clean lines, simple proportions, open layouts and abundant natural light.

Flat or shallow-pitched roofs, large expanses of glass, strong connections to outdoor space, and spare, unornamented walls are characteristics of Modern house plans.

The lot is often incorporated into the Modern style home, turning outdoor space into alfresco living rooms.

Design Features & Materials:

- Open, flexible floor space
- Minimalist decorative elements
- Extensive use of modern or "industrial" mixed materials throughout home
- Extensive use of glass for natural light and views
- Use of corner windows
- Unobtrusive front entrance
- Often exhibit flat or unconventional shed roofs



HOME STYLES

Colonial Style Homes

Typically, the Colonial-style home includes a symmetrical facade, regularly-spaced single windows, and some decorative accent over the front door.

Historically speaking, this style developed in the original thirteen American colonies, as settlers adapted European building techniques to the materials available and the climates in their New World colonies. The Colonial home plans being built in America today are more accurately called "Colonial Revival," which was first seen around 1880, and grew rapidly after World War I.

Design Features & Materials:

- Rectangular, with a symmetrical façade
- 2-3 stories, with a gable roof
- Front door with sidelights and topped by transom windows
- Traditional columns flanking the entry.
- Shutters often used with this style.



DESIGN REVIEW PROCESS:

Dream Architectural Control Committee

The Dream Architectural Control Committee meets on a weekly basis. Our committee consists of both in-house staff as well as external consultants. This committee has many years of experience and works together to achieve the architectural goals of the community.

The purpose of our Architectural Control Committee is to add value to our neighbourhoods by adopting a consistent application of the guidelines and offering a design service to the builders.

Preliminary Submission

All builders are required to submit preliminary elevations and site plans for review by the Dream Architectural Control Committee. This will ensure that the basic house ideas conform to the architectural standards set for the area.

DESIGN REVIEW PROCESS:

Formal Submission

All Architectural Submissions must be submitted through our LOT FX software <http://www.lotfx.com> prior to submission for building permit from the City of Regina. Please contact Dream's Director, Architectural Control Shavonne Doell at sdoell@dream.ca to obtain login information.

Submissions will include a full set of drawings, a site plan at 1:200 scale and a complete colour & material schedule.

When the Dream Architectural Control Committee reviews the plans, it is not unusual for the committee to recommend enhancements to the exterior design. Such recommendations will be sensitive to additional costs but are made in the interest of a better-designed community.

The builder is invited to discuss any changes, but Dream reserves the right to “not approve” a particular plan. Comments will be issued as to the Committee's decision through our LOT FX system.

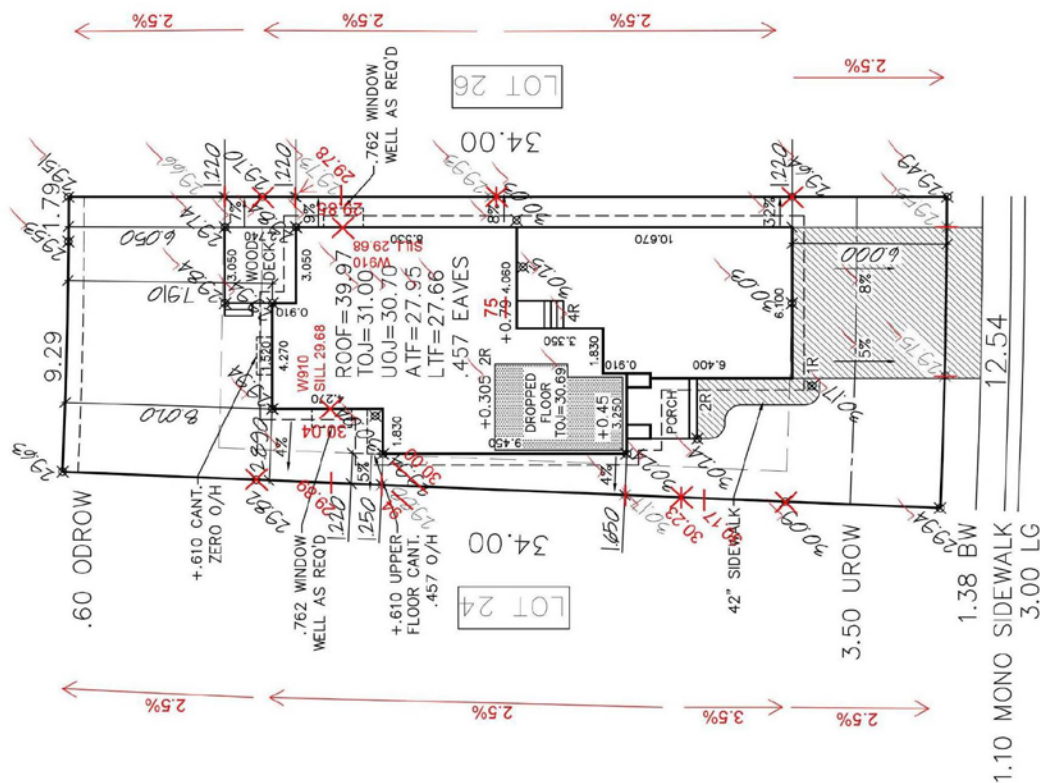
The Dream Architectural Control Committee shall have the sole discretion as to the interpretation and enforcement of these guidelines. They also reserve the right to amend these guidelines at any time.

SAMPLE SITE PLAN – FRONT DRIVE GARAGE

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Plot Plan

Lot:	Block:	Plan:	Phase:	Municipal Address:	Proposed:	Approved:
Builder:						
Builder Contact:						
Phone No.:				Landscape Grade	-Front:	
					-Rear:	
Lot Area:				Garage Slab Elevation:		
Building Area:		Sewer Invert(\$):		Lowest Top of Footing:		
Lot Coverage:		Sanituru:		Actual Top of Footing:		
		% Storm:		Actual Top of Joist:		



EVANSBOROUGH WAY NW



BROOM FINISHED
CONCRETE
SIDEWALK = $7\text{m}^2/75\text{f}^2$
DRIVEWAY = $45\text{m}^2/484\text{f}^2$

The Following Information Should be Indicated:

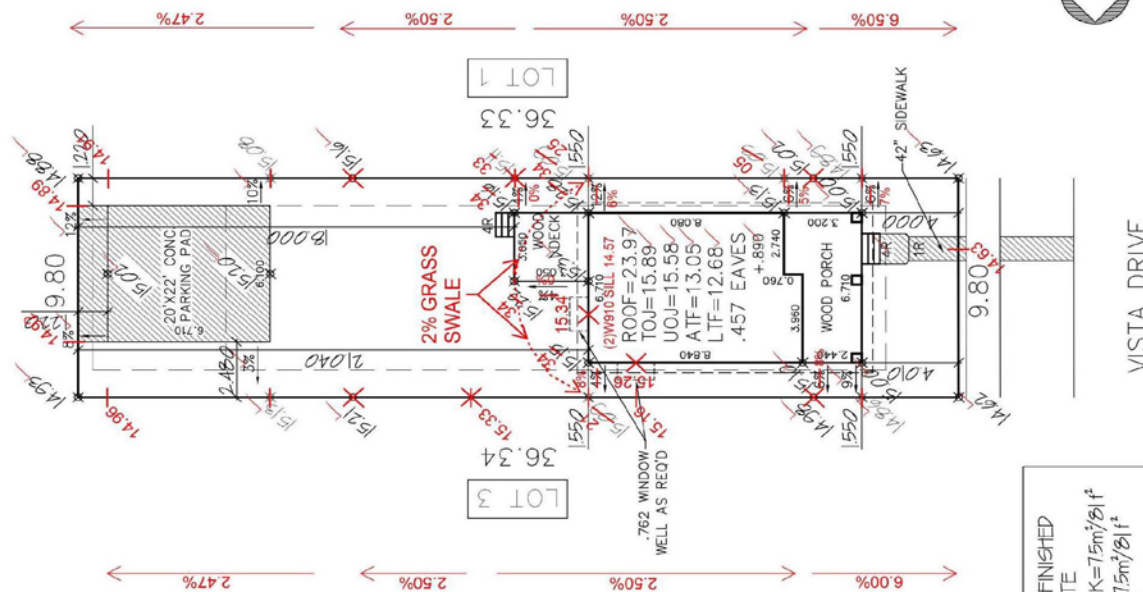
The following information should be indicated:	Scale	Size	Year	Material
House & Lot Dimensions, Inc. Decks	Lat Corner Elevations	Utility and Drainage Rights of Way	Drainage Swale, Fire Hydrants, Light	
Proposed Footing & Joist Elevations	Intermediate Side Lot Line Elevations	Curb and Sidewalk at Street	Standards, Mailboxes (where applicable)	
Proposed Garage Slab Elevation	Sidewalks and Setbacks	Driveway and Walk Layout		

SAMPLE SITE PLAN – LANED PRODUCT

dream development

Plot Plan

Lot:	Block:	Plan:	Phase:	Municipal Address:	Proposed:	Approved:
Builder:						
Builder Contact:				Landscape Grade	-Front:	
Phone No.:					-Rear:	
Lot Area:				Garage Slab Elevation:		
Building Area:				Lowest Top of Footing:		
Lot Coverage:				Actual Top of Footing:		
				Actual Top of Joist:		

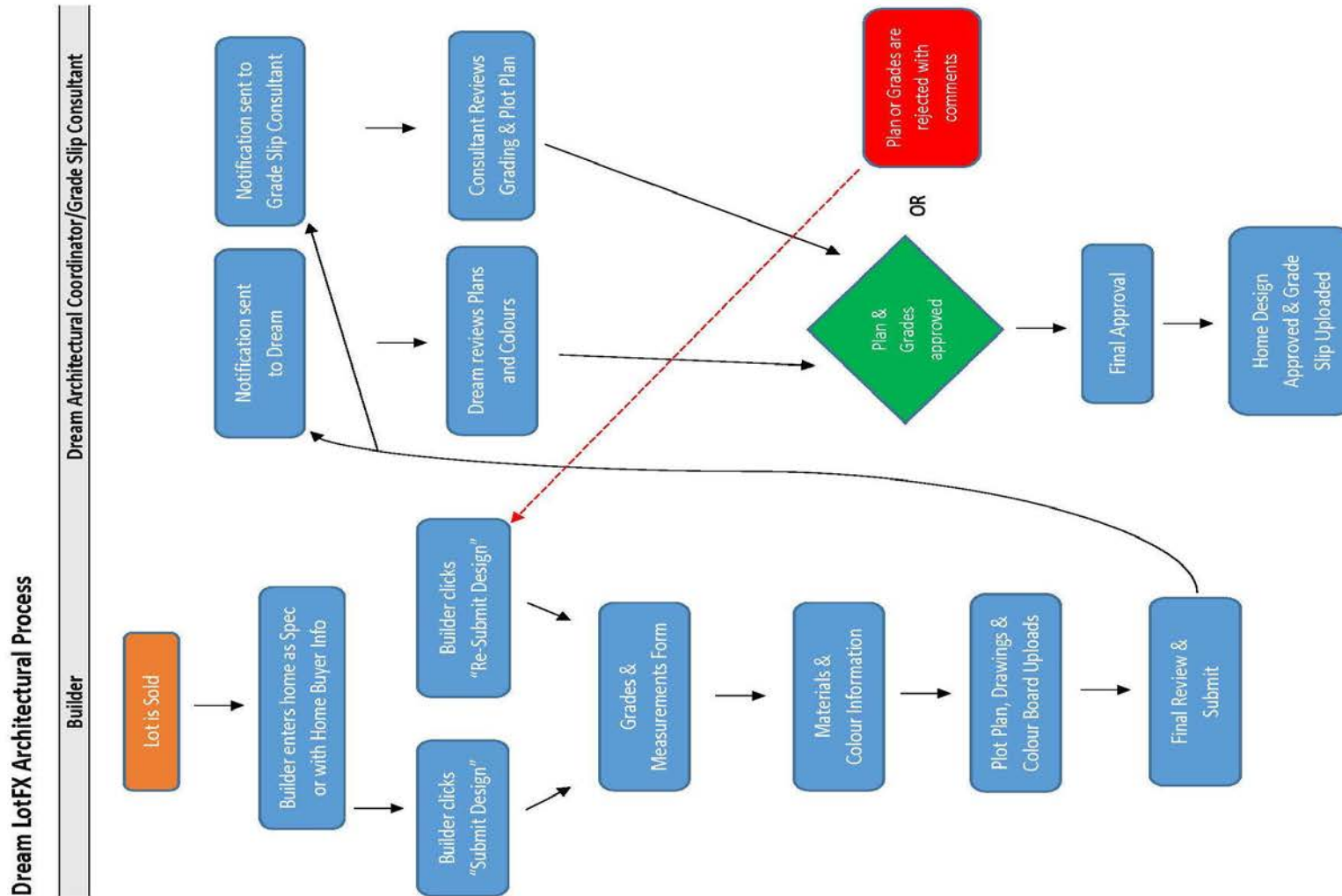


BROOM FINISHED
CONCRETE
SIDEWALK = $7.5\text{m}^2/8\text{ft}^2$
APRON = $7.5\text{m}^2/8\text{ft}^2$
PARKING
PAD = $41\text{m}^2/442\text{ft}^2$

VISTA DRIVE

The Following Information Should be Indicated:		Scale 1/200 (inside)
House & Lot Dimensions, Incl. Decks	Lot Corner Elevations	Drainage Swale, Fire Hydrants, Light Standards, Mailboxes (where applicable)
Proposed Footing & Joint Elevations	Intermediate Side Lot Line Elevations	Curbs and Sidewalk at Street
Proposed Garage Slab Elevation	Sidewalks and Setbacks	Driveway and Walk Layout

ARCHITECTURAL PROCESS:





INSPECTION PROCESS:

