



dream D
development

Brighton

a community connected

**ARCHITECTURAL &
DEVELOPMENT GUIDELINES**

August 2017



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INTRODUCTION

Brighton is a unique family community nestled in Holmwood in the east end of Saskatoon, just north of 8th Street and south of College Drive. It is an innovative, master-planned neighbourhood with housing, parklands, trails, public transit, retail, schools, employment zones and office space. Brighton is the ideal place to live, work, learn, shop and play for generations to come.

This community has a unique and progressive identity crafted from the very first stages of its unique design which will instill pride and a sense of belonging for all new homeowners.

Every kind of homebuyer will find a home suitable to their needs in Brighton. This development features single-detached family homes in laneless configuration, narrow-lot single detached and semi-detached family homes with rear lane access, multi-unit housing including condominium to street townhouses and walk-up apartment style developments. Brighton truly caters to all.

Our vision is that all homes in Brighton will incorporate one of the following styles in their design:

- Tudor
- Prairie
- Arts & Crafts
- Craftsman
- French Country
- Colonial
- Williamsburg Town Homes

Modern Style Homes will only be considered in special cases where a full thought out streetscape is presented for review by the Committee. One off modern styles will not be permitted throughout the area.

Each home is required to meet our General Architectural Guidelines that are detailed starting on Page 9. Certain areas of the development, designated as Level Two and Level Three, will require additional upgraded features as described on Page 20 and shown on the plan on Page 8.

DESIGN PHILOSOPHY

Dream Development's design philosophy is demonstrated through its commitment to a comprehensively designed, master planned community. Dream remains involved in all aspects of the development and build-out to ensure its vision is successfully implemented.

This provides consistency to an overall design philosophy, control of all development aspects and the ability to enhance the natural and man-made features. At each stage, Dream monitors all aspects of the land development, service requirements and building programs to ensure timeliness and completeness of each home.

Homes in Dream neighbourhoods will require consistent application of the architectural guidelines. Home designs will be reviewed to ensure that a home incorporates good design principles and employs an authentic use of materials and details for the style chosen.

The design for each house and multi-family development will be submitted to the Dream Architectural Control Committee who will review it for compliance with the Architectural Guidelines. If a building does not portray sufficient character, good design or appropriate colours and materials, then the plans could be rejected and returned with suggested improvements.

LANDSCAPING

To create a standard streetscape framework and a more unified image of the community, Dream together with the builders, have established a landscape program included with the purchase of each home.

The program shall consist of top soiling and sodding, one 30-40 mm caliper tree and three shrubs supplied in the front yard of each home.

Landscaping is to be completed within the first growing season of the homeowner taking possession of the home.

LETTER OF CREDIT

The builder is required to provide to Dream Development an irrevocable Letter of Credit as security deposit. No interest will be paid on the Letter of Credit. The Letter of Credit amount will be based on the number of lots purchased.

This Letter of Credit is required to ensure the following criteria has been met on each lot:

- Home is constructed as per architectural approval.
- Landscaping guidelines have been met.
- Approved grade slip has been complied with.
- Community infrastructure has not been damaged.

Upon satisfactory completion of the above items on all lots, the Letter of Credit will be released or extended upon instruction from the builder.



SITE PLANS AND GRADING

Each builder is required to submit a site plan into LotFX in 1:200 scale (metric). Examples are shown on Pages 30 and 31.

All site plans will be reviewed at the time of submission and are required to meet the set grades as shown on the Building Grade Plan for the area and are to ensure proper lot drainage. Window wells may be required to reduce number of risers on the home.

The following information should be shown on each site plan:

- House & Lot Dimensions including decks
- Proposed Top of Footing and Top of Joist Elevations
- Proposed Garage Slab Elevation
- Lot Corner Elevations
- Utility and Drainage Right-of-Ways
- Curb and Sidewalk at Street
- Driveway and Walk Layout
- Fire Hydrants/Light Standards/Utility Pedestals (if applicable)

- Minimum 2.5% slope on side Property Lines to front and rear of lot from an indicated high point.
- Positive slope (minimum 2.5%) away from the foundation to nearest lot line.

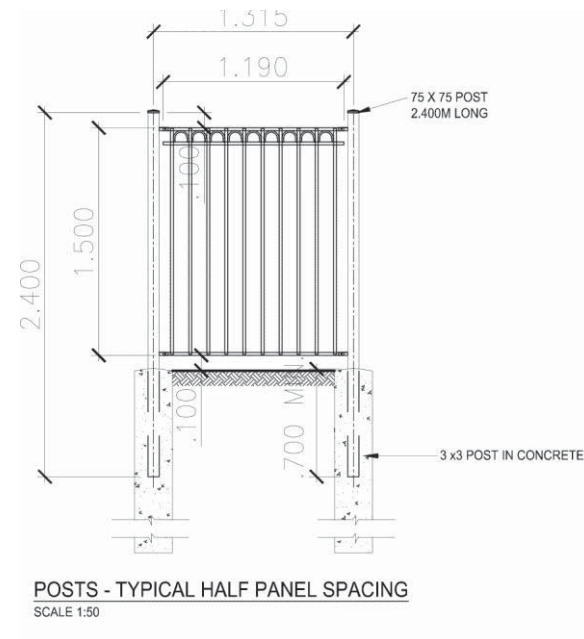
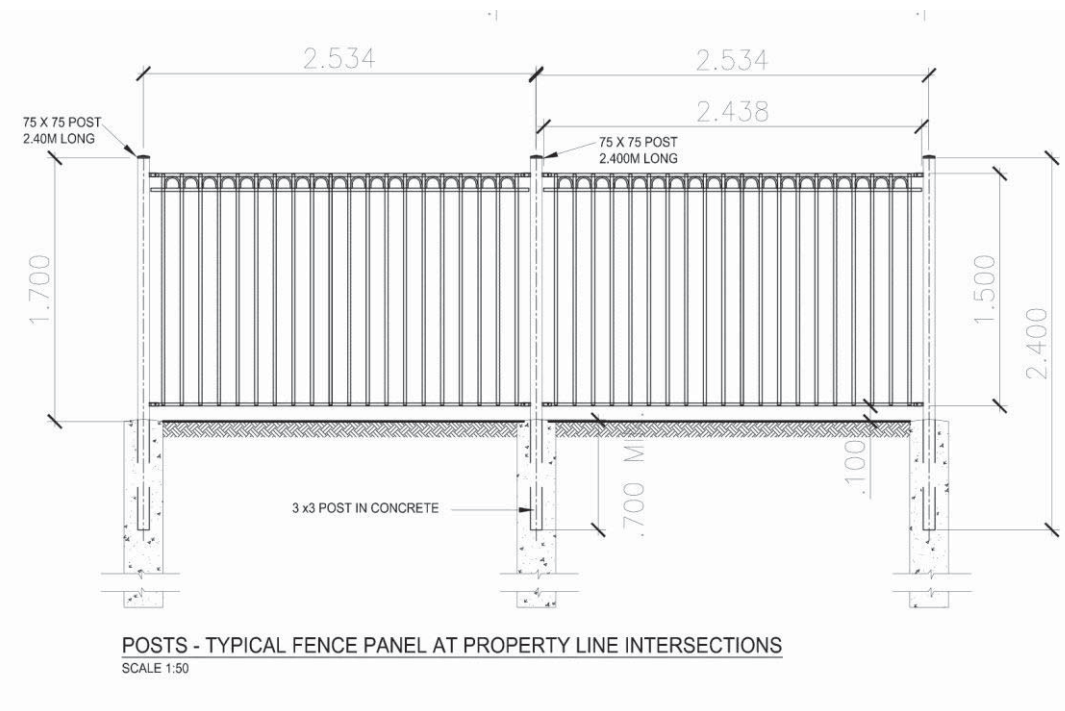
Site plans will be reviewed in conjunction with adjacent site plans to ensure the continuity of the streetscape. If the site plan does not have proper drainage or work with the adjacent home or streetscape, it will be sent back for adjustments.

All final site plans will be stamped in approval and a Building Grade Slip will be issued, the builder is then responsible for compliance to the approved Grade Slip.

An as-built sign off will be required by a surveyor when the house certificate is issued. This cost will be the responsibility of the home builder.

FENCES

To ensure uniformity and design and visual appeal, Dream Development will be providing the fence along the rear yards of all lots backing onto greenspace as well as a portion of sideyards flanking onto greenspace. These will be fenced with a 5 foot high decorative aluminum fence inside the property line. A select portion of fencing is 3 feet high.





Brighton Architectural Control Plan

This plan is concept only and may be subject to change without notice.

-  Previous Phases
-  General Architectural
-  Level 2 Architectural
-  Level 3 Architectural
-  Owned by Others



GENERAL ARCHITECTURAL REQUIREMENTS

The following General Architectural Requirements are required on all homes in all areas of Brighton. Higher minimum house sizes may be required in future phases.

Minimum House Sizes

SINGLE FAMILY-LANED

Two Storey

Min: 1200 sq. ft.

Bungalow/Bi-Level

1000+ sq. ft.

SINGLE FAMILY-FRONT ATTACHED

Two Storey

Min: 1500 sq. ft.

Bungalow/Bi-Level

1200+ sq. ft.

SINGLE FAMILY-FRONT ATTACHED ESTATE

Two Storey

1800+ sq. ft.

Bungalow/Bi-Level

1300+ sq. ft.

DUPLEX

Two Storey

Min: 1100 sq. ft.

Bungalow

1000+ sq. ft.

TOWNHOMES

Two Storey

Min: 900 sq. ft.

Sideyards and Setbacks

Minimum setbacks for lots must meet the zoning requirements set out by the City of Saskatoon Zoning Bylaw. City of Saskatoon zoning regulations, local easements and encumbrances shall be respected.

GENERAL ARCHITECTURAL REQUIREMENTS

High Exposure Elevations

Elevations which are high exposure, such as the side and rear of a corner lot, lots which back onto parks etc., shall be treated with the same types of materials as used on the front elevation. Such features as decorative vents, decorative chimneys, brick, stone, shutters, batten boards, accent boards or wrap around verandas should be used.



Homes with a rear lane

Many homes in Brighton will have a rear lane. On corner lots, rear garages must be provided concurrent with house construction. On all other homes with a rear lane, a concrete garage pad with a concrete or asphalt apron is required at the time of construction of the home.

Rear access garages should be consistent in style, finish and colour with the design of the house. Garage pads must be poured concrete, minimum 20'0" x 20'0" (width may be adjusted based on utility location).

Garage doors on high exposure lots are to complement siding colour, unless specifically approved by the Architectural Control Committee.

Rear garages adjacent to MR sites or which are high exposure will be required to have upgraded detailing on the high exposure elevations.

GENERAL ARCHITECTURAL REQUIREMENTS

Repetition

Three (3) lots are required in between homes before the same elevation and colours may be repeated on the same side of the street. The same elevation and colours may not be repeated within two (2) lots on the opposite side of the street.

Colours are defined as siding and masonry. All exterior colours to be submitted through LotFX.

Elevations are defined as the exact same front elevation. Models may be repeated closer providing the exterior has been revised to differ.



Example shown above
refers to the repetition in
place for Lot 43

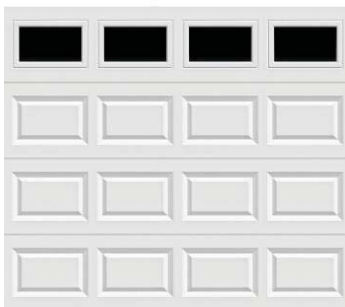
GENERAL ARCHITECTURAL REQUIREMENTS

Front Drive Garages

Decorative garage doors are required; these could include windows or decorative panels in the garage door. Garage doors should be painted to match siding or are to complement the colour scheme.

Decorative panels and window trim in the garage door are to be the same colour as the garage door – (no two toning) unless specifically approved by the Architectural Control Committee. Suggest that garage door seals complement garage door.

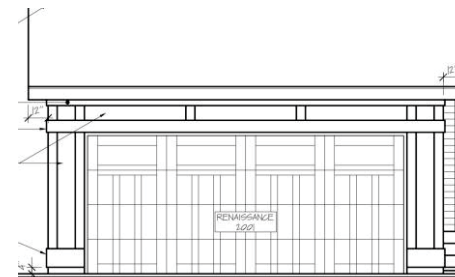
Homes in the General and Level Two Architectural Levels will be permitted to have a more basic garage door. See below for the minimum standard:



Homes in Level Three areas will be required to have a higher end decorative garage door, see below as an example:



Decorative panels are to be used in place of vinyl siding on the front face of garages. All paneling is to return 2 ft. as a minimum; if the front face is wider than 2 ft. the return width should match accordingly. However, vinyl siding is permitted as a header material. Headers above garage doors are not to exceed 2 ft.





GENERAL ARCHITECTURAL REQUIREMENTS

Verandas

The use of front verandas on homes in Brighton is strongly encouraged. Where possible, wrap around front porches/verandas should be incorporated into corner lots.

A veranda is defined as a usable space on the front of the home which is larger than 10 feet wide (parallel to the street). Verandas are typically covered, with multiple columns and a railing. Where a veranda is used on the home, wood verandas and steps are permitted.

Front Drive Garages

On front drive garage homes, where no veranda is used, front steps must be constructed using one of the following:

- pre-cast concrete steps
- cast-in-situ concrete steps
- exposed aggregate concrete

Laned Product and Town Homes

Wood steps are permitted on all Laned Product and Town Homes per specifications in detail.

Wood Step Detail

All wood steps are to be constructed of pressure treated wood. The deck surface must be stained with an all-weather stain and the toe kicks and stringers must be painted to match the home. No maintenance materials such as Trex are also permitted as an alternative.

All steps are to have enclosed stringers and no open risers are permitted. The sides of all front steps and verandas are to be skirted with a no maintenance type material. Lattice screens alone will not be permitted as a skirting material.



GENERAL ARCHITECTURAL REQUIREMENTS

Front Entrances

Front entrances must receive architectural treatment in keeping with the architectural style. Front doors should be painted to match the colour scheme. Attached sidelights or transom windows are encouraged to further enhance the entrance.

Columns and Railing

All railing material is to be metal or approved low maintenance material.

Front columns are to be a minimum of 10" square. All columns must have a cap and a base, the base of column is not to overhang the landing or veranda. All columns must support a beam and not the soffit.

Rear Decks:

Columns on walkout lots are to be a minimum 12" width square.

For homes which are backing onto greenspace or are high exposure, the decks must be shown on the building plans and must be built at the time of construction of the home.

On these high exposure lots, the beams and rim joist are to be clad with an all-weather material. If the deck is between 1 ft. and 5 ft. high the underside of these decks should be fully enclosed with a low maintenance material.

Retaining Walls/Terracing:

All terracing/retaining walls must be shown on the site plan at time of submission and all proposed materials are to be submitted for review.

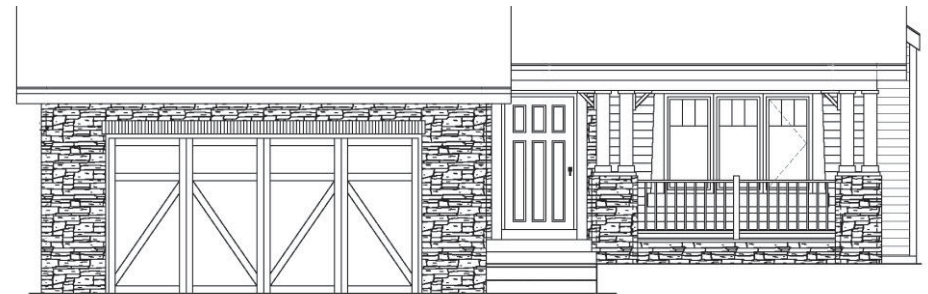
GENERAL ARCHITECTURAL REQUIREMENTS

Exterior Finish

- Siding – vinyl or *Hardiboard (see Page 8, Level Three where vinyl siding is not permitted).
- A mix of Standard and Premium Vinyl Colours are permitted in the area. 40% of each builder's inventory will be required to be upgraded premium vinyl.
- Traditional Lap profile is required for all vinyl siding.
- Acrylic Stucco
- Brick
- *Cultured stone
- *Smartboard
- Shakes – Cedar or *Hardi-Shakes. Vinyl shakes are permitted as accents in gables only.

Masonry

- Where masonry is proposed, it must portray structural integrity.
- Masonry returns are to be a minimum of 2 ft.
- All masonry is to go down to as close to finished grade as possible, to a maximum of 3" from grade.
- See page 8, Levels Two and Three for areas where masonry is required.



Appropriate use of masonry

* where a brand name is specified, approved equivalents will be considered.

GENERAL ARCHITECTURAL REQUIREMENTS

Roof Materials

- Asphalt – architectural shingle - 30 year minimum warranty. IKO Cambridge, BP Mystique or approved equal.
- Standing Seam Metal for Accent Roofs.
- Other roof materials will be considered on a case by case basis.

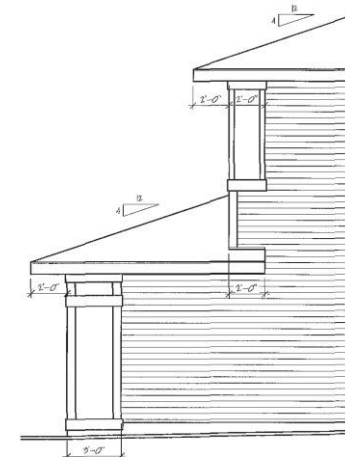
Chimneys

All chimneys must be contained within a corbelled chase (minimum 2' x 2'), finished in a style consistent with the home design.

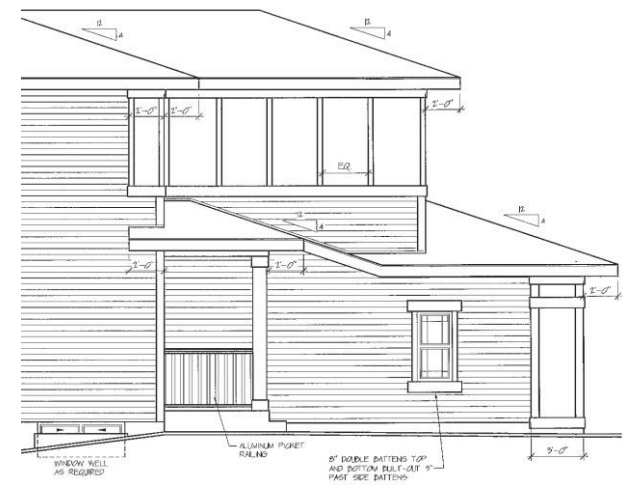
Window Trims and Sills

- *Smartboard/*Hardiboard
- *Cultured Stone
- Note: stucco, aluminum or vinyl are not permitted window trim materials on any elevation.
- All trims used on home are to be finished off correctly i.e. trims must not return around the corner and be left floating, they should be finished off with a vertical trim (see examples).

* where a brand name is specified, approved equivalents will be considered.



Example of trim return.



Example of trim return.



GENERAL ARCHITECTURAL REQUIREMENTS

Fascia

- Fascia on all elevations of the home shall be 6" minimum in dimension. Aluminum fascia is permitted.
- Higher requirements apply in Level Two and Three areas as per plan on Page 8.

Window Wells

Metal window wells are permitted.

Flashing

All flashing used on the home exterior, including the roof, is to be prefinished to blend with adjacent materials. Galvanized metal flashing is not permitted on any part of the home, which is visible from the street or lane.

Driveways and Sidewalks

Concrete driveways are to be "broom finished" or other acceptable concrete finish. Exposed aggregate, stamped concrete and coloured or patterned concrete driveways are also permitted. If these types of driveways are used they are required to be sealed.

Sidewalks must be poured in place. Sidewalk blocks are not permitted. Architectural pavers may be permitted at the discretion of the Architectural Control Committee.

Front driveways and walkways are to be constructed concurrent with the construction of the home.

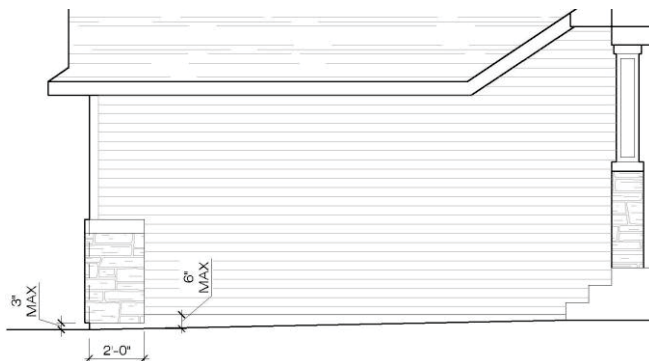
GENERAL ARCHITECTURAL REQUIREMENTS

Parging

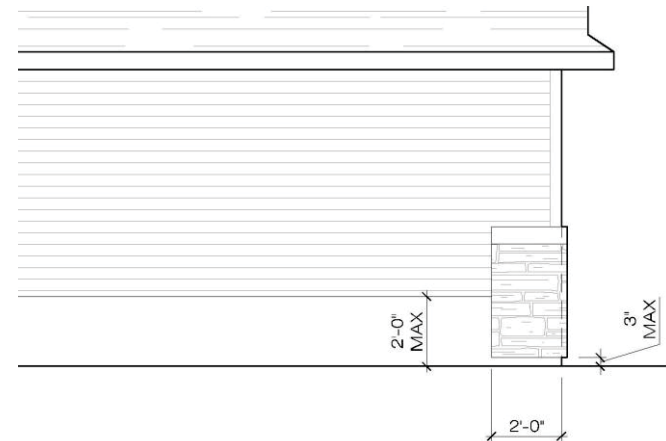
On the front face of the home all materials are to go down to as close to finished grade as possible, to a maximum of 3" from grade.



On the inside/front entrance side of Front Drive Garage homes, parging should go down to close to finished grade as possible, to a maximum of 3" from grade for a 2 foot return, and then is permitted to step up to 6" maximum.



On the exterior side of the garage a maximum of 24" of parging is permitted after a 2 foot return. 24" of parging is permitted on all other elevations.



In cases of walkouts where the side elevations are sloping, parging should be tiered or sloped to follow the grade.



LEVEL TWO ARCHITECTURAL REQUIREMENTS:

All lots shown in brown on page 8 require the General Architectural Guidelines as well as the following to be incorporated:

- Fascia is to be 8” painted board (or equivalent) on all exposed gables.
- Masonry is required on all homes.

LEVEL THREE ARCHITECTURAL REQUIREMENTS:

All lots shown in orange on page 8 require the General Architectural Guidelines as well as the following to be incorporated:

- Vinyl siding is not permitted on the lots shown in orange.
- Fascia is to be 8” painted board (or equivalent) on all exposed gables.
- Masonry is required on all homes.
- Higher quality decorative garage door.

MULTI-FAMILY SITES

All multi-family sites are to incorporate the items in the General Architectural Guidelines and are subject to review by the Dream Architectural Control Committee.

HOME STYLES

In addition to the specific Architectural Requirements, homes in Brighton should implement the following styles. Although exact replicas of these styles are not required, they are presented here to give builders some basis to work from. Other styles may be considered at the committee's discretion.

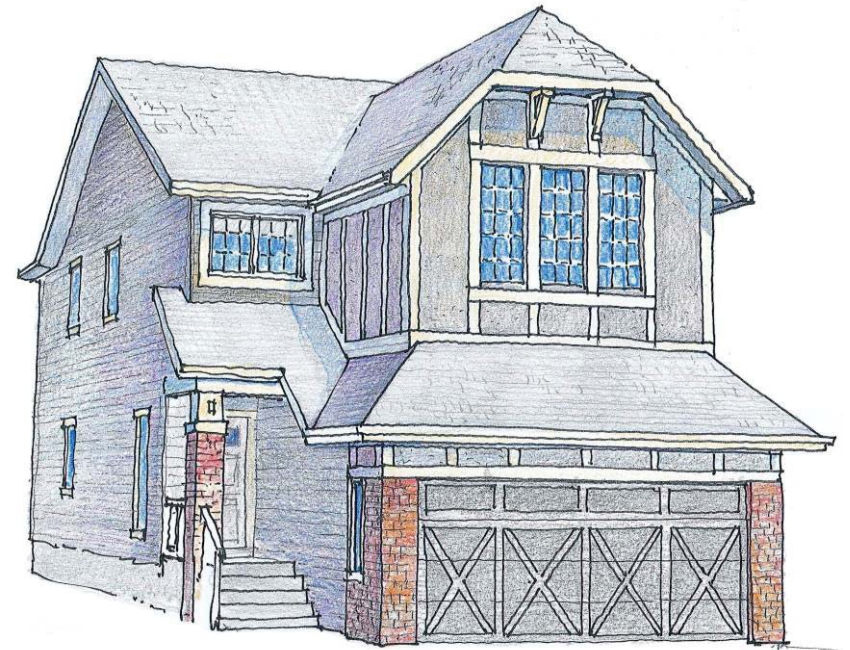
Tudor Style Homes

The Tudor Style is based on a variety of early English building traditions. Most houses in this style emphasize high-pitched gable roofs, elaborate chimneys, and decorative detailing.

Design Features & Materials:

- Steep pitched gable roofs, i.e. 8:12 – 12:12, with modest overhang.
- Vertical trim – widths 8" – 10" in dark or natural colours.
- Horizontal trim can be dominant and heavier 12" – 14".
- Express structural supports with heavy beam ends of brackets.
- Elaborate masonry chimneys.
- Groupings of windows.

- Decorative half-timbering (half-timbering is darker with lighter walls).
- Dark carriage style garage doors.



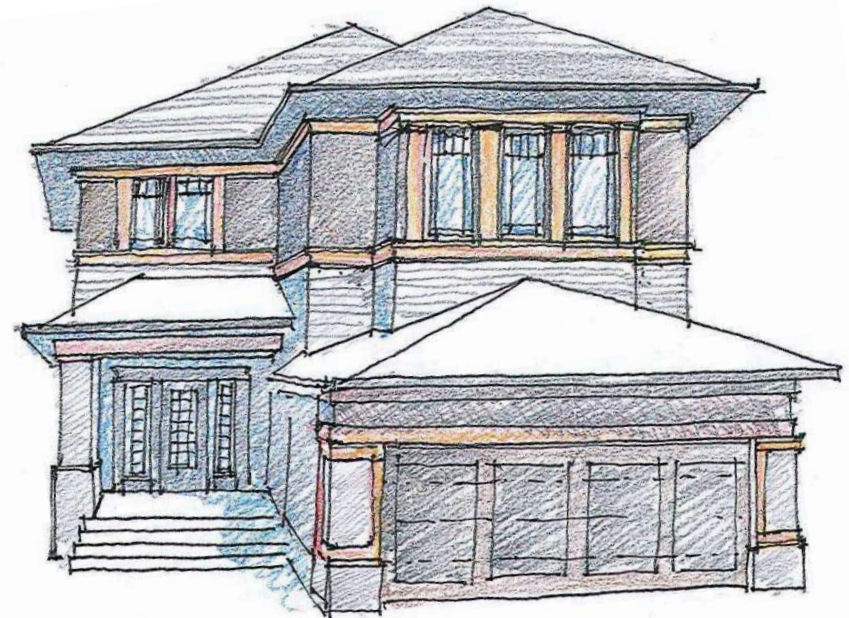
HOME STYLES

Prairie Style Homes

Prairie Style homes originated in the Midwest U.S. by Frank Lloyd Wright. These homes were designed to reflect the flat horizon of the prairie landscape using low sloped roofs, broad overhangs, and accented horizontal trims and materials.

Design Features & Materials:

- Low slope roof, i.e. 4:12 roof pitch, with large overhang.
- Bands of rectangular windows.
- Contrasting horizontal trims separating upper and lower wall finishes.
- Brick is the preferred masonry on this style of home.
- Horizontal trim at soffit and as base to windows. Widths min 6 – 10". In dark colour or natural colours.



HOME STYLES

Arts & Crafts Style Homes

The term "Arts and Crafts" refers to the early 19th-century British and American movement to revive handicrafts. The movement was also the inspiration behind the Craftsman and bungalow styles.

Design Features & Materials:

- Porches. Most homes in the Arts and Crafts style have porches with thick square or round columns and stone porch supports.
- Roof are typically lower pitched, i.e. 5:12. Homes have a low roof with wide eaves and brackets.
- Exposed beams. The beams on the porch and inside the house are often exposed.
- Natural finishes of shakes or wood siding with a clear finish or deep wood finish. The natural finish should contrast in colour or depth of tone with body of home.



HOME STYLES

Craftsman Style Homes

Inspired by post and beam or log homes in mountain settings, this informal style features lofty ceilings and open floor plans.

Craftsman Style home plans typically blend well with nature, and their exteriors frequently incorporate the use of natural materials.

Design Features & Materials:

- High vaulted ceilings with exposed timber beams and trusses. Dominant gables with decorative truss detail sitting out from the face of the building.
- Steeper gables with moderate eaves.
- Large glass windows – grouped/double hung.
- Large porches or decks, large scale timber columns.
- Exposed beams, log ends, half logs add to the character.
- Natural finishes of shakes or wood siding with a clear finish or deep wood finish. The natural finish should contrast in colour or depth of tone with body of home.



HOME STYLES

French Country Style Homes

French Country homes draw from both the smaller country cottages and large rural estates of France. The style is characterized by a steep hipped roof, and homes may include turrets, finials, and shaped chimneys. Bays and decorative windows lend character to the facade.

Design Features & Materials:

- Tall rectangular windows.
- Stone façade.
- Rounded eyebrow arches or wood shutters.
- Steep roofs and dormers with no gables.
- Eyebrow dormer breaking through the roof line.
- Strong soffit detail continuous around primary roof with total built up depth of 12 -20 inches.
- Window frames are classically detailed with head sill and columnar details on the vertical.
- Building mass should be stone or stucco.



HOME STYLES

Colonial Style Homes

Typically, the Colonial-style home includes a symmetrical facade, regularly-spaced single windows, and some decorative accent over the front door.

Historically speaking, this style developed in the original thirteen American colonies, as settlers adapted European building techniques to the materials available and the climates in their New World colonies. The Colonial home plans being built in America today are more accurately called "Colonial Revival," which was first seen around 1880, and grew rapidly after World War I.

Design Features & Materials:

- Rectangular, with a symmetrical façade
- 2 stories, with a gable roof
- Front door with sidelights and topped by transom windows
- Traditional columns flanking the entry.
- Shutters often used with this style.



HOME STYLES

The following home style is specified for Town Homes pre-designated as “Williamsburg Style”. Other town home projects in Brighton may choose to use different styles as noted in the Architectural Guidelines and be approved by the Architectural Control Committee.

Williamsburg Style Town Homes

The Williamsburg Town Homes in Brighton will be a continuation of the Colonial Revival Style used throughout the neighbourhood. Typically, the Colonial-style home includes a symmetrical facade, planter boxes, paneled boxouts (painted one colour), and decorative accents over the front door.

Shutters, porticos, metal roofs and the use of brick will be encouraged. Front to back gables are to be incorporated. Moderate eaves to be used with a maximum of 18” overhangs.

All units and colours for each building form must be submitted at the same time.



In addition to the General Architectural Guidelines, Williamsburg Style Town Homes are to incorporate the following into all homes:

Configuration and Setbacks

Where possible, groups of 3, 5 and 7 are preferred. Setbacks of units should be staggered and not on one single plane.

Garages

All garage doors should match trim colour.

On homes where the garages are highly visible, i.e. front facing onto the street or rear facing onto a street or park area, decorative garage doors will be required.

- When decorative garage doors are used, the door style should complement the home style as shown.



HOME STYLES

Williamsburg Style Town Homes (continued)

Roofs

Roof colour should be consistent through the whole project - black in colour.

Exterior Finish

Stucco is not a permitted material.

Reds will not be permitted for siding colours.

Front Doors

Front doors should incorporate a feature colour, complementing the colour scheme.

Window Trims and Sills

Trim colour should be consistent through the whole project - white in colour.

Under eave, shadow boards are required.

Masonry Requirements

Brick is required (cultured stone is not permitted).

A minimum of 25% of brick is required on the building faces of the entire complex (3-7 plex). This is to be distributed in a non-uniform application.





DESIGN REVIEW PROCESS:

Dream Architectural Control Committee

The Dream Architectural Control Committee meets on a weekly basis. Our committee consists of both in-house staff as well as external consultants. This committee has many years of experience and works together to achieve the architectural goals of the community.

The purpose of our Architectural Control Committee is to add value to our neighbourhoods by adopting a consistent application of the guidelines and offering a design service to the builders.

Preliminary Submission

All builders are required to submit preliminary elevations and site plans for review by the Dream Architectural Control Committee. This will ensure that the basic house ideas conform to the architectural standards set for the area.

DESIGN REVIEW PROCESS:

Formal Submission

All Architectural Submissions must be submitted through our LotFX software <http://www.lotfx.com> prior to submission for building permit from the City of Saskatoon. Please contact Dream's Director of Architectural Control Shavonne Doell at sdoell@dream.ca to obtain login information.

Submissions will include a full set of drawings, a site plan at 1:200 scale and a complete colour & material schedule.

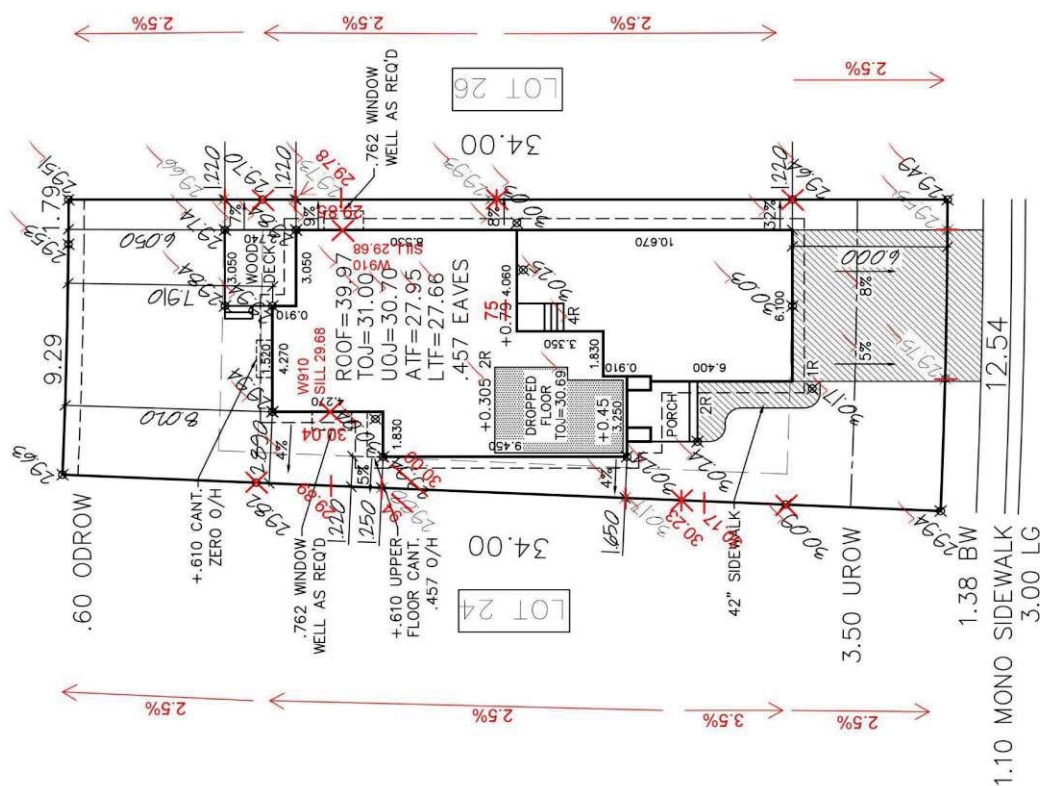
When the Dream Architectural Control Committee reviews the plans, it is not unusual for the committee to recommend enhancements to the exterior design. Such recommendations will be sensitive to additional costs but are made in the interest of a better-designed community.

The builder is invited to discuss any changes, but Dream reserves the right to “not approve” a particular plan. Comments will be issued as to the Committee's decision through our LotFX system.

Dream Development shall have the sole discretion as to the interpretation and enforcement of these guidelines. They also reserve the right to amend these guidelines at any time.

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Lot:	Block:	Plan:	Phase:	Municipal Address:	Proposed:	Approved:
Builder:						
Builder Contact:						
Phone No.:				Landscape Grade	-Front: -Rear:	
Lot Area:				Garage Slab Elevation:		
Building Area:				Lowest Top of Footing:		
Lot Coverage:				Actual Top of Footing:		
				Actual Top of Joist:		



EVANSBOROUGH WAY NW



BROOM FINISHED
CONCRETE
SIDEWALK = $7m^2/75 f^2$
DRIVEWAY = $45m^2/181 f^2$

The Following Information Should be Indicated:

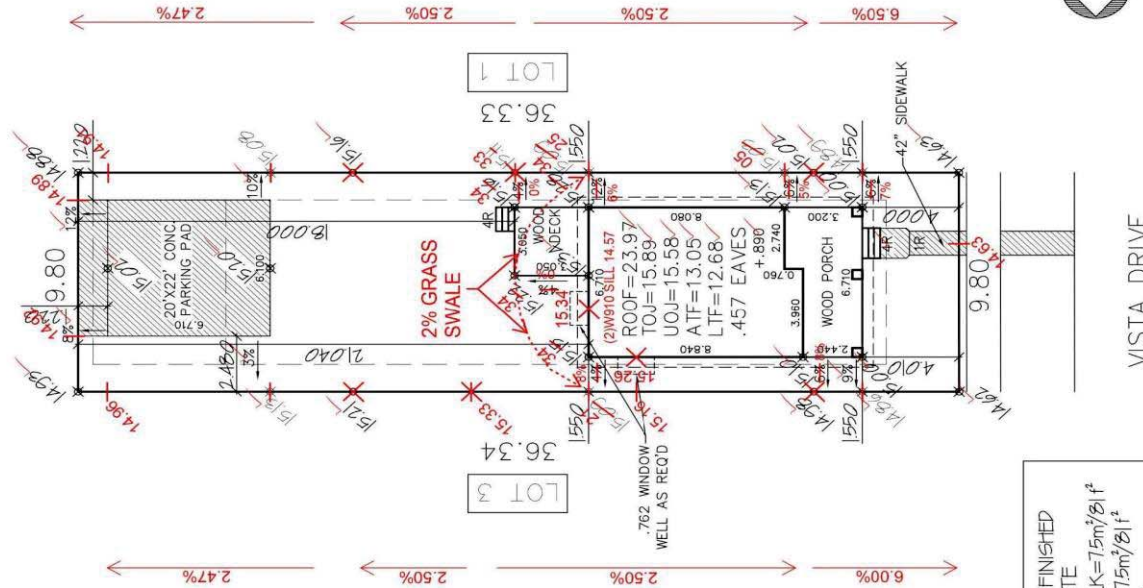
The following information should be indicated:		Scale 1:2000 metric
House & Lot Dimensions, Incl. Decks	Lot Corner Elevations	Drainage Swale, Fire Hydrants, Light Standards, Mailboxes (where applicable)
Proposed Footing & Joist Elevations	Intermediate Side Lot Line Elevations	
Proposed Garage Slab Elevation	Sidewalks and Setbacks	Driveway and Walk Layout
<p>The Builder is responsible for the accuracy of all house and sidewalk dimensions shown on this plan.</p> <p>All dimensions and elevations are metric</p>		

SAMPLE SITE PLAN – LANED PRODUCT

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Plot Plan

Lot:	Block:	Plan:	Phase:	Municipal Address:	
Builder:	Builder Contact:			Landscape Grade	-Front:
Phone No.:					-Rear:
Lot Area:	m ²	Sewer Invert(s):		Garage Slab Elevation:	
Building Area:	m ²	Sanitary:		Lowest Top of Footing:	
Lot Coverage:	%	Storm:		Actual Top of Footing:	
				Actual Top of Joist:	



BROOM FINISHED
CONCRETE
SIDEWALK=75m²/811 ft²
APRON=75m²/811 ft²
PARKING
PAD=41m²/440 ft²

The Following Information Should be Indicated:				Scale 1:200 (Metric)
House & Lot Dimensions, Incl. Decks	Lot Corner Elevations	Utility and Drainage Rights of Way	Drainage Swale, Fire Hydrants, Light	Standards, Mailboxes (where applicable)
Proposed Footing & Joist Elevations	Intermediate Side Lot Line Elevations	Curb and Sidewalk at Street		
Proposed Garage Slab Elevation	Sidewalks and Setbacks	Driveway and Walk Layout		
The Builder is responsible for the accuracy of all house and sideyard dimensions shown on this plan.				
All dimensions and elevations are metric				