



## Aspen Ridge Architectural Review Form

### Aspen Ridge - Phase 2 Lot Draw

#### 1. Location

Lot \_\_\_\_\_ Block \_\_\_\_\_ Plan # \_\_\_\_\_

Civic Address \_\_\_\_\_

#### 2. Applicant

Builder \_\_\_\_\_ Contact Person \_\_\_\_\_

Telephone # \_\_\_\_\_ Email \_\_\_\_\_ Draftsperson \_\_\_\_\_  
 Email  
 (if applicable)

#### 3. House Size & Form

House Type (i.e. two-storey, bungalow, etc.) \_\_\_\_\_ Sq. Ft. (above grade) \_\_\_\_\_  
 excluding garage area,  
 attached decks, patios

Attached Garage Interior Dimensions _____	Detached Garage Pad Dimensions _____ The garage pad must include a concrete apron that connects to the rear property line.	Attached Garage Side (viewed facing the home from the front street) _____
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\* Primary Roof Slope \_\_\_\_\_

\* No roof slope is required on Lots 1 - 22, Block 707, Lots 1 to 11, Block 709, and Lots 1 to 15, Block 710.

#### 4. Front Facade Exterior Materials and Products

	Material Type	Manufacturer	Application Surface Area (sq. ft)	Colour
Exterior Material 1	_____	_____	_____	_____
Exterior Material 2	_____	_____	_____	_____
Exterior Material 3	_____	_____	_____	_____

Roof shingles are not considered a material

\* For Attached Garage Lots

Garage Door Colour \_\_\_\_\_

Garage Door Manufacturer \_\_\_\_\_ Garage Door  
Product Name \_\_\_\_\_

Please include photos or scanned brochures to help explain the garage door design

#### 5. Highly Visible Lots\*

\*This section applies to:

- Corner lots and the side building elevations which face the street; and
- Park backing or flanking lots and the side or rear building elevations which face park space.

Please enter information for the applicable fields (sq. ft):

Side Elevation Surface Area	_____	Rear Elevation Surface Area	_____
Side Elevation Accent Material Area	_____	Side Elevation Window/Door Area	_____
Rear Elevation Accent Material Area	_____	Rear Elevation Window/Door Area	_____

**The Aspen Ridge Architectural Review Form must be submitted to Saskatoon Land prior to submitting your application for a Building Permit to the Building Standards Division. Failure to submit the form or submission of an incomplete form may delay the issuance of your Building Permit.**

**Interpretation and application of the Aspen Ridge Architectural Controls are at the sole discretion of Saskatoon Land. Failure to comply with these controls may result in removal from Saskatoon Land's Eligible Contractor List.**

Saskatoon Land to complete this area

Approved by \_\_\_\_\_

Date \_\_\_\_\_



Aspen Ridge

Phase 2 Architectural Controls





## ARCHITECTURAL CONTROLS

*To enhance the street appeal of Aspen Ridge, Saskatoon Land has selected a variety of architectural controls aimed at creating an aesthetically pleasing streetscape and encouraging a variety of different exterior building materials.*

*The architectural controls selected by Saskatoon Land are an integral component in strengthening neighbourhood streetscapes and fostering diversity amongst housing choices, creating a warm and inviting environment.*

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## GENERAL DESIGN CONSIDERATIONS - ALL LOT TYPES

These controls are in addition to the controls for each lot type in the following sections. The requirements listed in each lot type section are an absolute minimum. Saskatoon Land reserves the right to require further architectural treatment to any facade in order to satisfy the intention of the Phase 2 architectural controls.

### Massing and Relief

All building volumes must incorporate intermittent variances in plan and elevation to encourage shadow lines on facades and visible elevations which will enhance the streetscape by introducing interesting architecture. This includes all building elevations that are adjacent to or visible from public streets or public parks.



### Repetition

The same elevations should not be repeated on adjacent properties or directly across the street. For adjacent properties, a change in architectural detailing is required.

Examples of acceptable changes include, but are not limited to, the following: roof and dormer orientation and slope, front attached garage roof style or orientation, the size and location of windows and doors, colours and finish materials.



### Front Door Placement

It is strongly encouraged that the front door of a dwelling be highly visible on the front facade by directly facing the fronting street.

If the door does not face the street, architectural elements such as foyer windows, additional accent materials or other architectural elements must be added to enhance the house entrance.



Depending on Saskatoon Land's evaluation of any submitted plans, especially those that satisfy only the "minimum" requirements of this document, Saskatoon Land may require architectural details such as the following:

- Accented wall build-outs or interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of material or colour.





## ARCHITECTURAL CONTROLS BY LOT TYPE

Phase 2 of Aspen Ridge features three lot types: Standard Lot Attached Garage, Executive Walk-out Basement Lot Attached Garage and Laned Lot Detached Garage. The architectural controls for each type are noted below:

### *Standard Lot - Attached Garage*

a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling; or
- ii. 1,200 square feet in the case of a two-storey dwelling.

b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long.

c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

***No roof pitch requirement exists for Lots 1 to 22, Block 707; Lots 1 to 11, Block 709; and Lots 11 to 15, Block 710.***

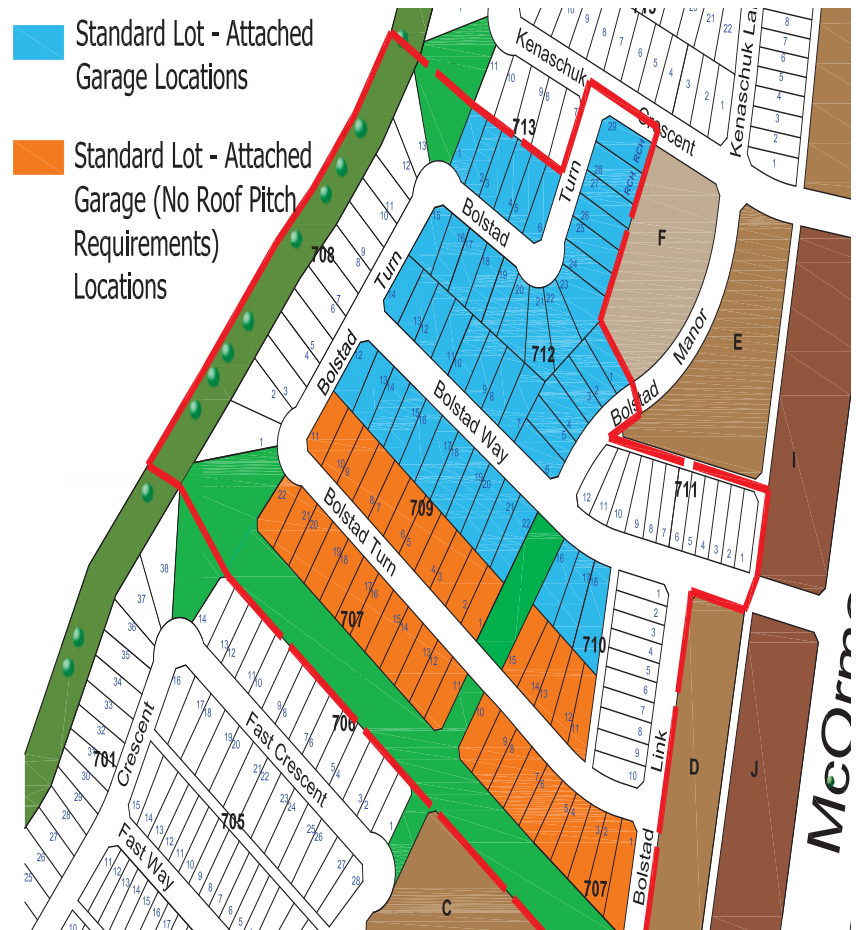
d) Attached garages shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.

e) All attached garages require architecturally significant garage doors consistent with the architectural style of the dwelling.

f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

### Standard Lot Attached Garage

- Lots 1 to 22, Block 707;
- Lots 1 to 22, Block 709;
- Lots 11 to 18, Block 710;
- Lots 1 to 29, Block 712;
- Lots 1 to 6, Block 713.



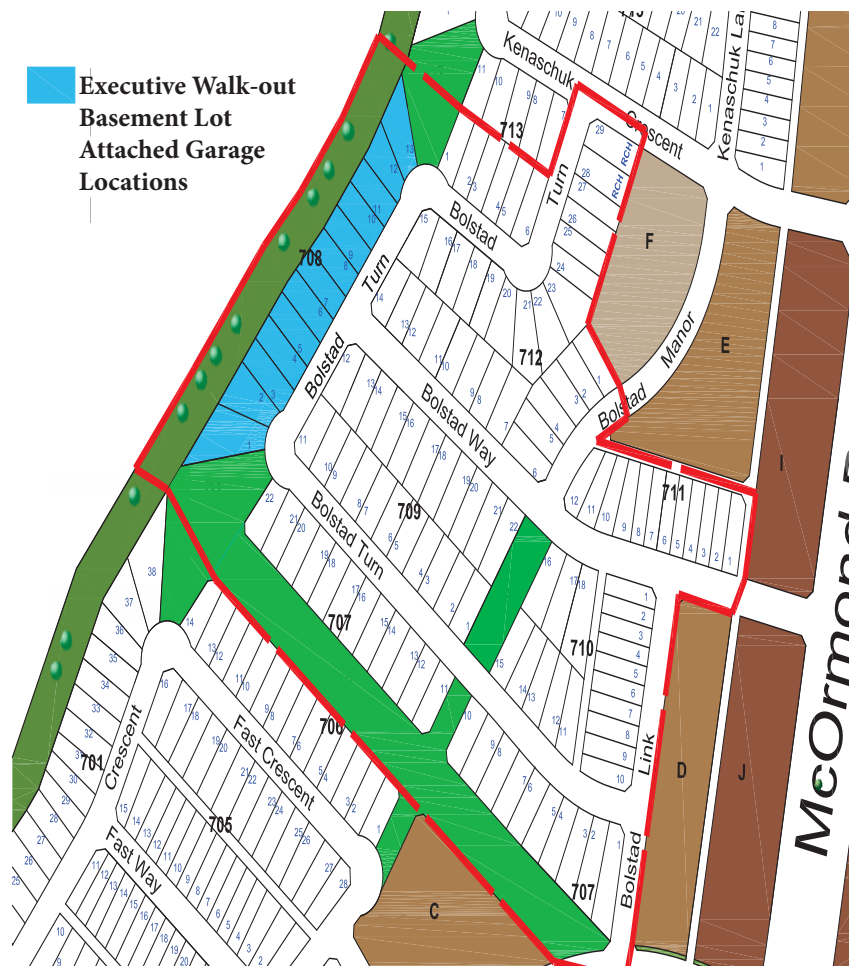


**Executive Walk-out Basement Lot - Attached Garage**

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
- i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling; or
  - ii. 1,500 square feet in the case of a two-storey dwelling.
- b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long.
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.
- d) Attached garages shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.
- e) All attached garages require architecturally significant garage doors consistent with the architectural style of the dwelling.
- f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 75 square feet in area or a minimum of three exterior building materials with each material being no less than 40 square feet in area. **No vinyl siding shall be permitted on any building elevation.**
- g) All dwellings shall be constructed with direct access from the basement level to the backyard (walk-out units).

**Executive Walk-Out Basement Lot - Attached Garage**

- Lots 1 to 13, Block 708





### *Laned Lot - Detached Garage*

a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow or bi-level; or
- ii. 1,200 square feet in the case of a two-storey dwelling.

b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two-storeys. Split-level dwellings are not permitted.

c) All dwellings shall be constructed with an architecturally significant entry feature which may include a covered veranda, a covered entry feature or a modern contemporary interpretation of a pergola. In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling.

d) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

### *No roof pitch requirement exists for Lots 1 to 10, Block 710.*

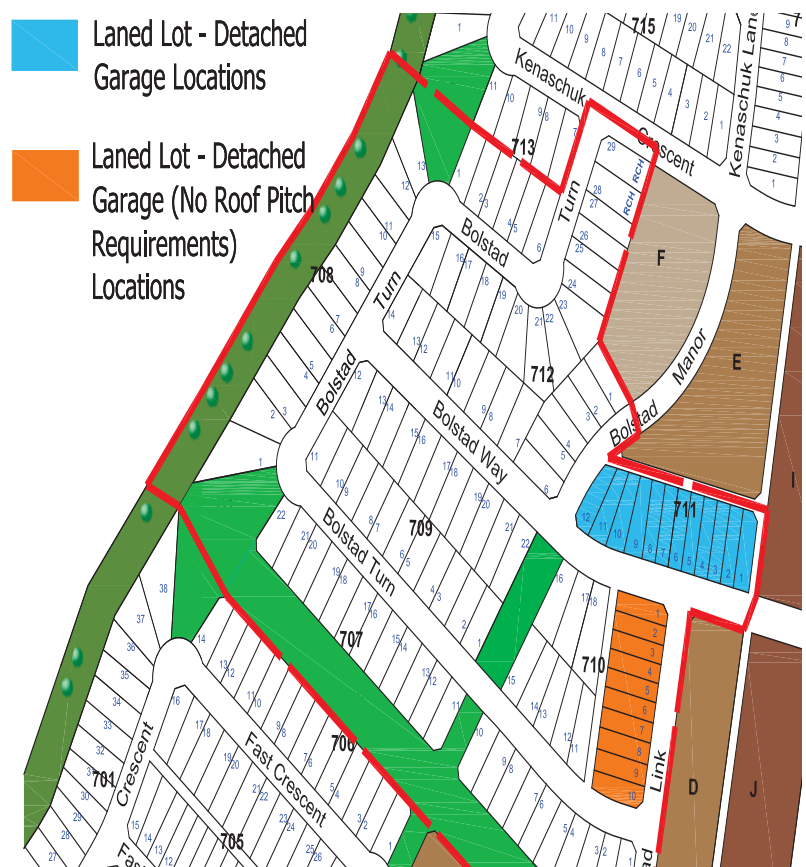
e) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres in width and 6 metres in length. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the rear property line.

f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

Please be advised that, as per the National Building Code (NBC), foundations for detached garages 55 square metres and larger must be designed by a design professional (engineer or architect) licensed to consult in the Province of Saskatchewan. The sealed design must be accompanied with a Letter of Commitment for field review.

### **Narrow Lots - Detached Garage**

- Lots 1 to 10, Block 710; and
- Lots 1 to 12, Block 711.







### Highly Visible Lots - Building Elevations that are Street Flanking and Highly Visible from Parks

These controls are in addition to the controls noted in the previous sections. The intention of these controls are to avoid the monotony and the perceived cheapness of large expanses of blank walls on side and rear facades that are highly visible from streets and parks. The lots that are relevant to these highly visible lot controls are identified in the map below. The requirements listed below are an absolute minimum. Saskatoon Land reserves the right to require further treatment to any facade in order to satisfy the intention of the Phase 2 Architectural Controls.

- Highly Visible Lots**
- Lots 1 to 22, Block 707;
  - Lots 1 to 13, Block 708;
  - Lots 1, 11, 12, & 22, Block 709;
  - Lots 1, 10, 15 & 16, Block 710;
  - Lot 12, Block 711;
  - Lots 6, 14, 15 & 29, Block 712; and
  - Lots 1 & 6, Block 713.

In addition to the front facade requirements, any building elevation which flanks a street or faces a park:

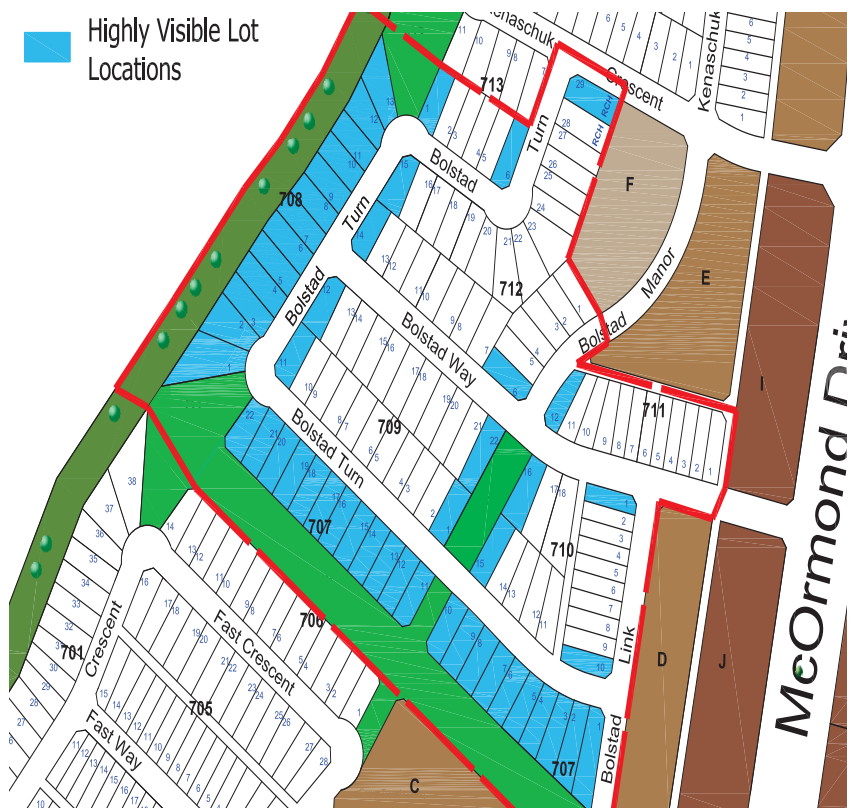
a) Requires a secondary exterior building material that covers no less than 1/3 (33%) of the elevation as defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and/or door areas shall be subtracted. A third material may also be used provided that the second and third materials, when combined, cover no less than 1/3 (33%) of the subject elevation.

b) Requires a secondary exterior colour that covers no less than 1/3 (33%) of the elevation as defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and/or door areas shall be subtracted. A third colour may also be used provided that the second and third colours, when combined, cover no less than 1/3 (33%) of the subject elevation.

c) Requires the windows and/or doors to occupy no less than 5% of the elevation as defined as the total area of elevation from ground to under the eaves.

Depending on Saskatoon Land's evaluation of any submitted plans, especially those that satisfy only the "minimum" requirements of this document, Saskatoon Land may require more architectural details such as the following:

- Accented wall build-outs or other interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of material or colour.





## HIGHLY VISIBLE LOTS - EXAMPLES



The area of the rear elevation (minus window area) totals 270 square feet. 90 square feet of stone has been provided, which satisfies the secondary material requirement. 140 square feet of window placement has also been provided, which satisfies the window and/or door placement requirement on highly visible lots.



The area of side wall (minus window area) totals 300 square feet. 100 square feet of stone has been provided, which satisfies the secondary material requirement. 40 square feet of window placement has also been provided, which satisfies the window and/or door requirement on highly visible lots.



## EXTERIOR BUILDING MATERIAL REQUIREMENTS

### Standard Attached Garage Lots and Laned Detached Garage Lots

All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

### Executive Walk-out Basement Lots

All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 75 square feet in area or a minimum of three exterior building materials with each material being no less than 40 square feet in area. No vinyl siding is permitted on any building elevation.

**Note: Material types and areas must be clearly identified on the drawings submitted in support of your Building Permit Application. Failure to do so may result in delays to the approval of your Building Permit Application.**



This home utilizes cedar shakes along the roof line and stone accent features near the garage edges, with the balance of the facade consisting of cement fiber siding.



This home features board and batten siding along the dormers, stone accents along the veranda columns, with the balance of the front facade consisting of cement fiber siding.

- Trim features will not be counted as a material. In order to be included towards the required material amount, the material must be visible from the front street. Material wrapped around a column or architectural feature, facing a side or rear yard will not count towards the required material total.
- The materials being used need to be distinctly different and discernible from each other. Contrast with the trim materials and exterior building materials being used is also encouraged.



## GARAGE PLACEMENT

For lots requiring an attached garage, one further requirement will also apply to all of the lots that indicates which side of the lot the garage must be placed.

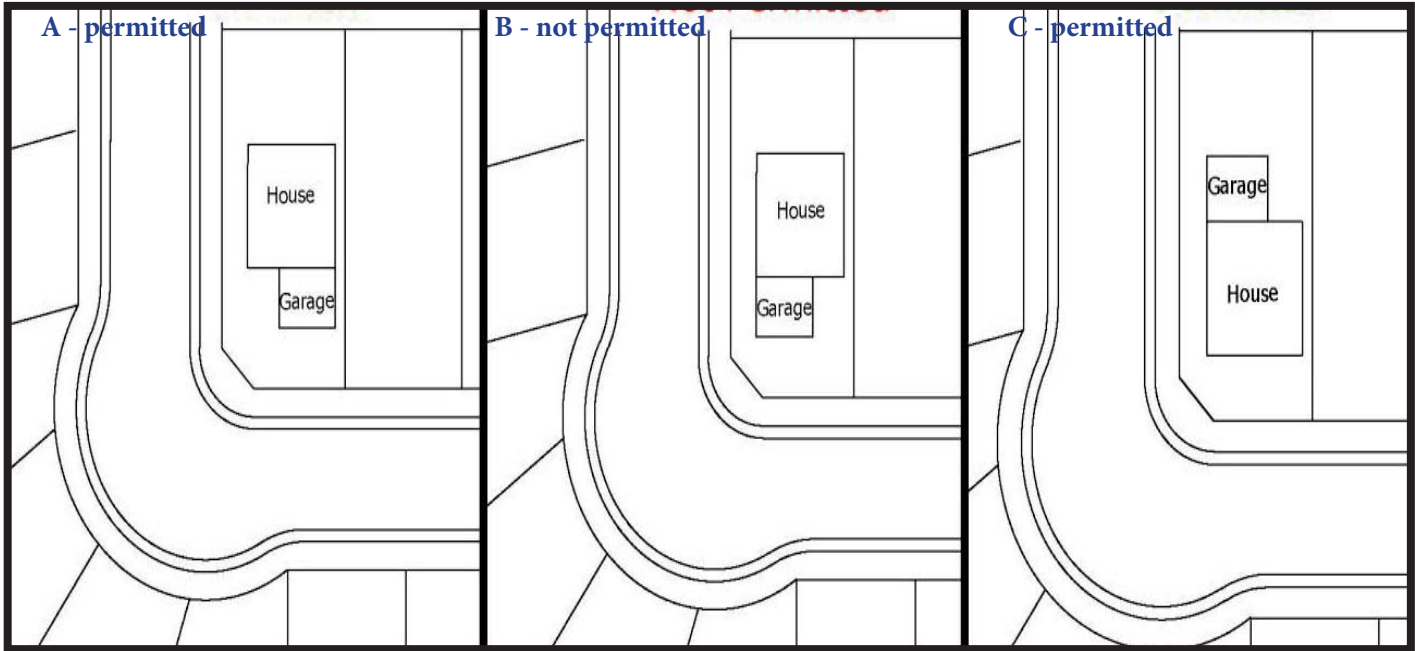
Garage sides on a given block are paired together against a common property line in order to provide a better streetscape appearance.

### Corner Lots

For corner attached garage lots, the garage must be located on the side of the property that is furthest from the intersection.

Figure 1 demonstrates the permitted options (A & C) for the placement of an attached garage on a corner lot, attached to the front of the house furthest from the street corner or at attached to the rear of the house.

Figure 1 - Corner Lot Garage Placement





The street appeal of a home contributes to the general appeal of any residential area. Garage doors make up a significant portion of the facade of any attached garage home. Any home with a front or rear attached garage requires garage door styles that complement the home's exterior. The garage door must include some architectural features. Examples of garage door types, design elements and corresponding architectural styles are as follows:

- Garage door supplier and model information must be submitted along with your building permit application. Garage doors will be reviewed and approved*





## ATTACHED GARAGE INTEGRATION

For lots which require an attached garage, the attached garage shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.

Examples showing acceptable garage projections are illustrated below.



The attached garage projects 2.0 metres from the second storey of the dwelling.



The attached garage projects 2.4 metres from the second storey of the dwelling.



The attached garage projects 2.4 metres from the second-storey bonus room.



## COLUMNS & ENTRY FEATURES

For lots which require an architecturally significant entry feature, features should be consistent with the overall architectural style of the dwelling.

This may include the use of covered verandas, modern contemporary interpretations of pergolas or covered entry features.

In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling. This might include the use of wide-based, tapered columns with stone detailing at the column base for craftsman style homes, cedar clad columns for modern contemporary style homes, or columns with masonry cladding along the full length of the column for traditional style homes.



Modern interpretation of a pergola entry.



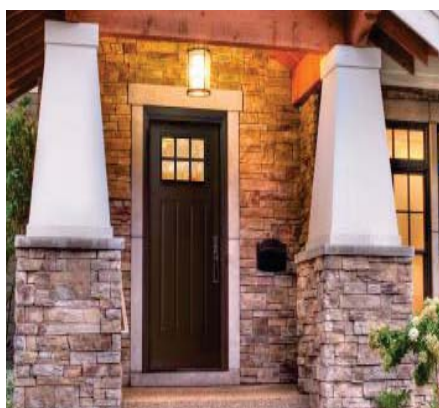
Covered entry feature with supporting column.



Covered entry feature with supporting column.



Covered veranda with substantial columns.



Wide-based, tapered columns with stone detailing.



Wide-based columns with stone detailing.





## ROOF PITCH

The roof of the principal dwelling shall have a minimum 6-in-12 pitch except in instances where it can be demonstrated that a lesser sloped pitch contributes towards a consistent architectural style or enhanced level of street appeal.

Approval of roof pitches less than 6-in-12 will be at the discretion of Saskatoon Land. Some examples that outline the acceptable use of roof pitches less than 6-in-12 are identified below.



The use of a low-pitched gabled roof for a craftsman style home.



The use of a flat roof or low-sloped roof in a modern contemporary style home.



The use of a low-pitched hip roof with wide overhanging eaves in a prairie style home.





## PLAN APPROVAL PROCESS

Saskatoon Land's approval of building plans is required prior to the submission of a building permit application. Builders are encouraged to meet with Saskatoon Land during the design stage to avoid potential delays.

The following information must be submitted to Saskatoon Land prior to the submission of a Building Permit Application:

- Completed Application Form;
- One hard or digital copy of the working drawings, including site plan, floor plan, and building elevations. All exterior building materials must be identified on the plans.

To avoid delays, application forms and building plans should be submitted to Saskatoon Land well in advance of applying for a building permit. Incomplete submissions will be returned without review. Plans will be reviewed for adherence to the architectural controls and Saskatoon Land may conduct meetings with applicants to discuss any significant revisions. Plans submitted will be reviewed by Saskatoon Land's Design Review Committee (DRC) to ensure that proposed plans meet the intent of these guidelines.

Upon approval of the drawing set, Saskatoon Land will issue an approval letter to the applicant. Following this, builders may apply for their respective building permit. At the building permit stage, Saskatoon Land will review the building permit drawings to ensure they're substantially consistent with the plans submitted during the review process.

Upon construction completion, Saskatoon Land will inspect the project to ensure it's in substantial accordance with the approved plans. Builders/homeowners will be responsible for correcting any deficiencies to building elevations which deviate from the approved building permit plans.